

**STATE OF ALASKA DEPARTMENT OF NATURAL RESOURCES
DIVISION OF MINING, LAND AND WATER**

☒ Northern Region
3700 Airport Way
Fairbanks, AK 99709
(907) 451-2740

☐ Southcentral Region
550 W 7th Ave., Suite 900C
Anchorage, AK 99501-3577
(907) 269-8552

☐ Southeast Region
400 Willoughby
P.O. Box 111020
Juneau, AK 99811-1020
(907) 465-3400

**APPLICATION FOR EASEMENT
AS 38.05.850**

Non-refundable application fee: \$100*

ADL # 420799
(to be filled in by state)

Applicant's Name Delta Junction Trails Association

Doing business as: _____

Mailing Address P.O. Box 710

E-Mail: gcorth@straydogs.us

City/State/Zip Delta Junction, AK 99737

Message Phone (805) 624.6360

Work Phone (907) 322.4644

Is applicant a nonprofit cooperative association? [] yes [X] no. If yes, are you applying for an exemption under AS 38.05.850(b)? [] yes [] no. If yes, please submit proof of nonprofit status (e.g. by-laws, articles of incorporation, tax statement).

Location of activity/Legal Description: Municipality Delta Junction, Alaska, Meridian Fairbanks
Township 010 South, Range 010 East, Section 14, 1/4, 1/4
Township _____, Range _____, Section _____, 1/4, 1/4

(attach extra sheets as needed) Block 14, Fairbanks Plat #63-7859, North and West Additions to Delta Junction Townsite.

Total length of applied-for easement (feet): 4,910 Total width of applied-for easement (feet): 20

Acres encompassed by easement: 2.254 (43,560 square feet = 1 acre)

Specific purpose of easement (e.g. electric utility, fiber-optic conduit or cable, telecommunications tower, road, bridge, airstrip/airport, driveway, trail, drainage), and type of anticipated traffic (e.g. plane, truck, heavy equipment): Explain Liewer Community Trail. A 20' wide multi-use, multi-season, non-motorized trail. Trail constructed in 2015, and connects to existing non-motorized, multi-use trail (Ronald Liewer, Block 16 and City of Delta Junction, Quartz Ave right-of-way), as depicted in the attached trail diagram.

Are you applying for the Division of Mining, Land and Water to reserve a Public Easement? Yes ☒ No ☐. Are you applying to be granted a Private Easement? Yes ☐ No ☒. (Note: Annual rental fee required for private easement)

*See 11 AAC 05.010 regarding fees for federal, state, and local government agencies



State briefly the standards and methods of construction: e.g. regulated standards, winter trail, dirt trail, gravel road, paved road, etc.; clearing by hand, clearing/construction by mechanical equipment (state type of equipment to be used, e.g. J.D. 350, 944 F.E. loader, hydro-axe, D-8), or establishment by use only. n/a. Trail already constructed.

Is this an existing use? Yes ☒ No ☐. If yes, provide documentation verifying existing use, such as easement atlas, affidavits attesting to use and existence, pictures, etc.

Construction to begin: n/a

Construction to be completed by: n/a

Other permits or authorizations applied for in conjunction with this proposed project: n/a

If this authorization is granted, I agree to construct and maintain the improvements authorized in a workmanlike manner, and to keep the area in a neat and sanitary condition; to comply with all the laws, rules, and regulations pertaining thereto; and provided further that upon termination of the easement for which application is being made, I agree to remove or relocate the improvements and restore the area without cost to the state and to the satisfaction of the Director of the Division of Mining, Land and Water.

Melinda Egleston, Chair
Applicant's Signature DTTA

1/27/2017
Date

INSTRUCTIONS: Attach a USGS map (scale of 1:63,360) or a state status plat showing the location of the proposed easement, and an environmental risk assessment questionnaire (form 102-4008A).

The final granting of a private easement or reservation of a public easement will be contingent upon our receipt of a plat depicting the post-construction location of the improvements. If your application is approved, instructions for the completion of the plat will be provided to you, or can be picked up at any of our offices.

AS 38.05.035(a) authorizes the director to decide what information is needed to process an application for the sale or use of state land and resources. This information is made a part of the state public land records and becomes public information under AS 40.25.110 and 40.25.120 (unless the information qualifies for confidentiality under AS 38.05.035(a)(9) and confidentiality is requested). Public information is open to inspection by you or any member of the public. A person who is the subject of the information may challenge its accuracy or completeness under AS 44.99.310, by giving a written description of the challenged information, the changes needed to correct it, and a name and address where the person can be reached. False statements made in an application for a benefit are punishable under AS 11.56.210.



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2015-018931-0

Recording District 401 FAIRBANKS

11/17/2015 10:14 AM

Page 1 of 3



Public Recreational Easement
(AS 34.17.100)

The grantor,

Ronald P. Liewer of Mills, Nebraska,

(Name or names and place of residence)

hereby grants a public recreational use easement to the public under
AS 34.17.100 in the following described real estate:

Lots 10, 11, 12, 13, 18, 19, 20, 21, 22, 23, 24 and 25 of Block 16, Fairbanks

Plat #63-7859, North and West Additions to Delta Junction Townsite.

Township 010 South, Range 010 East, Section 14, Fairbanks Meridian, Alaska.

located in the Fairbanks Recording District, State of
Alaska, for the purpose of making the described real estate available
for public recreational activities.

This Easement is subject to the following restrictions, conditions,
or reservations, if any (attach additional page if necessary):

Liewer Community Trail. A 20' wide multi-use, multi-season non-motorized Public
Recreational Trail Easement, as depicted in the attached trail diagram; loose animals
not permitted.

This easement is subject to the following terms, if any, addressing duration or termination of the Easement (it is not necessary to specify a duration or terms of termination):

☒ This Easement is granted in perpetuity; or

☐ This Easement is granted for a limited time (specify term): _____; or

☐ This Easement terminates when the following events happen: _____; or

☐ Other (specify): _____.

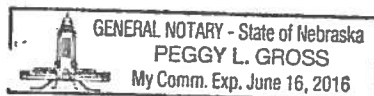
Dated this 12 day of Nov, 2015.

Ronald P. Liewer

STATE OF ~~ALASKA~~ Nebraska

This instrument was acknowledged before me on this 12th day of Nov, 2015, by

Ronald P. Liewer.



Peggy L. Gross
Notary Public in and for the State of Nebraska

Notary Seal Here

After Recording Return To:
Ronald P. Liewer

89528 Big Ann Lane

Mills, NE 68753

RECORDER PLEASE NOTE: THIS IS A NO

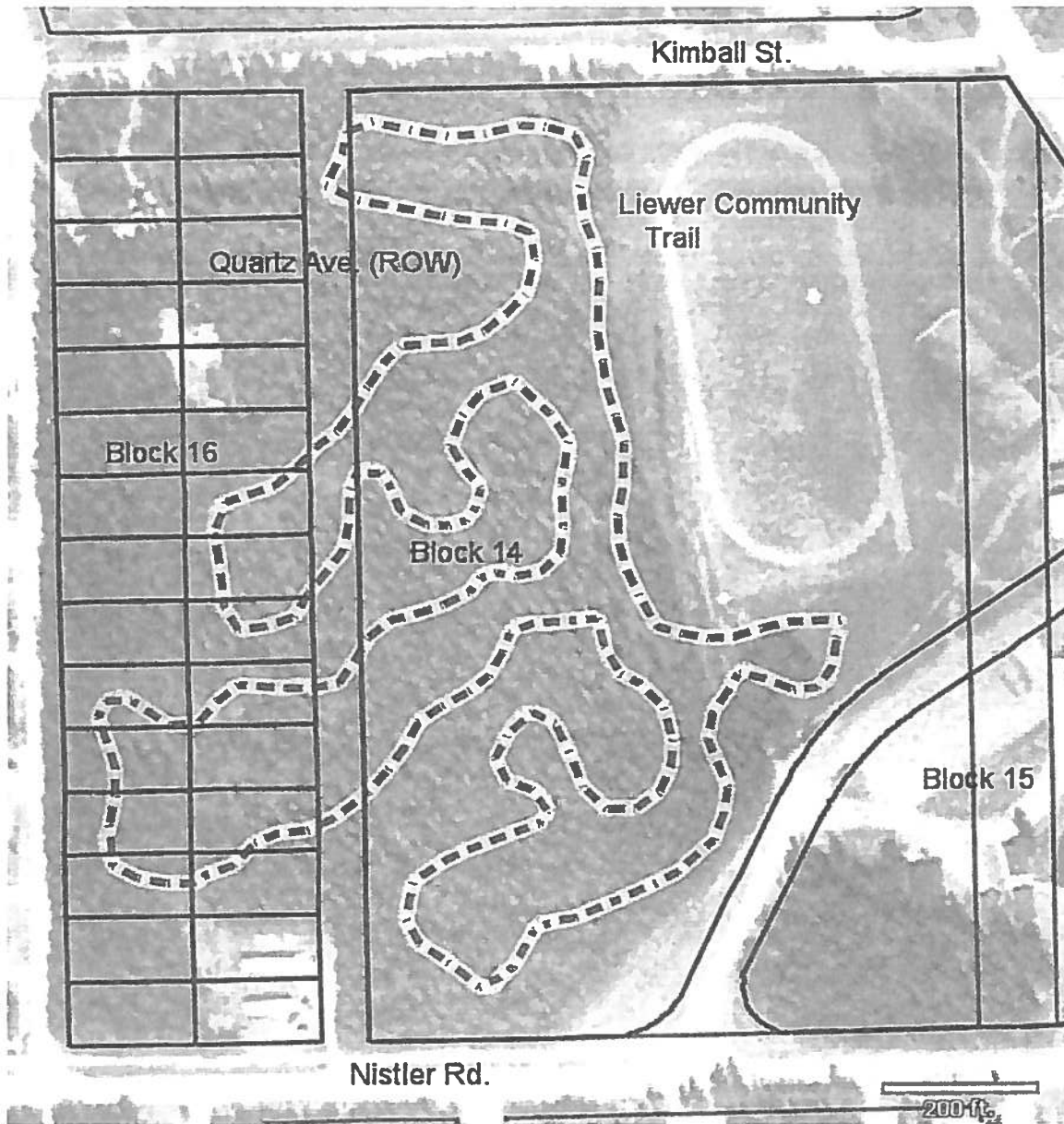
CHARGE DOCUMENT UNDER AS 40.17.030(e).



Recreational Trail Diagram

Liewer Community Trail

Block 14 & 16, Fairbanks Plat #63-7859, North and West Additions to Delta Junction Townsite.
T 10S, R 10E, Section 14, Fairbanks Meridian, Alaska.





City of Delta Junction

P.O. Box 229, Delta Junction, Alaska 99737
Ph 907-895-4656 Fax 907-895-4375
www.ci.delta-junction.ak.us
city@ci.delta-junction.ak.us

Welcome to the Friendly Frontier

RESOLUTION 2015-03

A Resolution Supporting Delta Junction Trails Association's Effort to Develop the Liewer Community Trail and Authorizing Issuance of a Non-Exclusive License to Utilize an Unconstructed Right-of-Way

Whereas the City of Delta Junction ("City") supports efforts from the Delta Junction Trails Association ("DJTA") in developing a trail system in Delta Junction and its surrounding area; and

Whereas the City supports DJTA's proposal to construct and maintain the Liewer Community Trail, a trail that crosses an undeveloped portion of Quartz Avenue, which is a platted City street; and

Whereas upon receipt of sufficient construction funds by DJTA, the City will issue a non-exclusive license to DJTA for construction, maintenance, and public access to said portion of Quartz Avenue for a period of not less than ten years; and

Whereas the City endorses DJTA's dedication in building a trail system that many generations of residents and visitors to the Delta Junction community will appreciate for many years.

Therefore be it resolved that the City of Delta Junction hereby authorizes the Mayor to execute a non-exclusive license upon DJTA's receipt of grant funding.

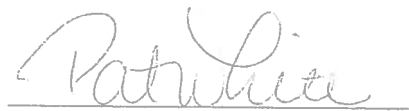
Passed and approved by a duly constituted quorum of the City Council of Delta Junction, Alaska this 4th day of November 2014.

ROLL CALL	YES	NO	EXCUSED	ABSTAIN
Seat A: Leith	X			
Seat B: Musgrove	X			
Seat C: Brown	X			
Seat D: Stebbins	X			
Seat E: Vanden Boom	X			
Seat F: Meeks	X			
Seat G: Hallgren	X			

CITY OF DELTA JUNCTION


Peter S. Hallgren, Mayor




Pat White, City Clerk



Delta/Greely School District

REAA# 15 ~ P.O. Box 527 ~ Delta Junction, Alaska 99737-0527 ~ (907) 895-4657 ~ FAX (907) 895-4246

Delta Elementary School
P.O. Box 270
Delta Jct, AK 99737
(907) 895-4696

Delta High School &
DGSD Technology Dept. &
Career Advancement Center
P.O. Box 647
Delta Jct, AK 99737
DHS (907) 895-4460
TD (907) 895-5207
CAC (907) 895-4605

Fl. Greely School
P.O. Box 546
Delta Jct, AK 99737
(907) 869-3105

New Horizons High School &
Delta Correspondence &
Gerstle River School
P.O. Box 527
Delta Junction, AK 99737
(907) 895-4655

District Mission Statement:

The rural, culturally diverse Delta/Greely School District has the mission to provide each student with educational opportunities to acquire the knowledge, values and skills necessary to become a responsible and productive member of society. The means for achieving this are offering quality instruction and challenging real-world experiences with family and community involvement.

Mindy Eggleston
Delta Junction Trails Association
mde@alaska.net

Dear Ms. Eggleston,

On June 13, 2013, the Delta/Greely Board of Education granted a conservation easement to the Delta Junction Trails Association for the land referred to as "The Leiwer Trail Acreage" (see attached map).

The School District has no future plans for this land and can agree to the 10 year easement.

Sincerely,

Loral Jackson
Superintendent

Recreational Trail Diagram

Liewer Community Trail

Block 14 & 16, Fairbanks Plat #63-7859, North and West Additions to Delta Junction Townsite.
T 10S, R 10E, Section 14, Fairbanks Meridian, Alaska.

Block 16, property of Ronald Liewer.

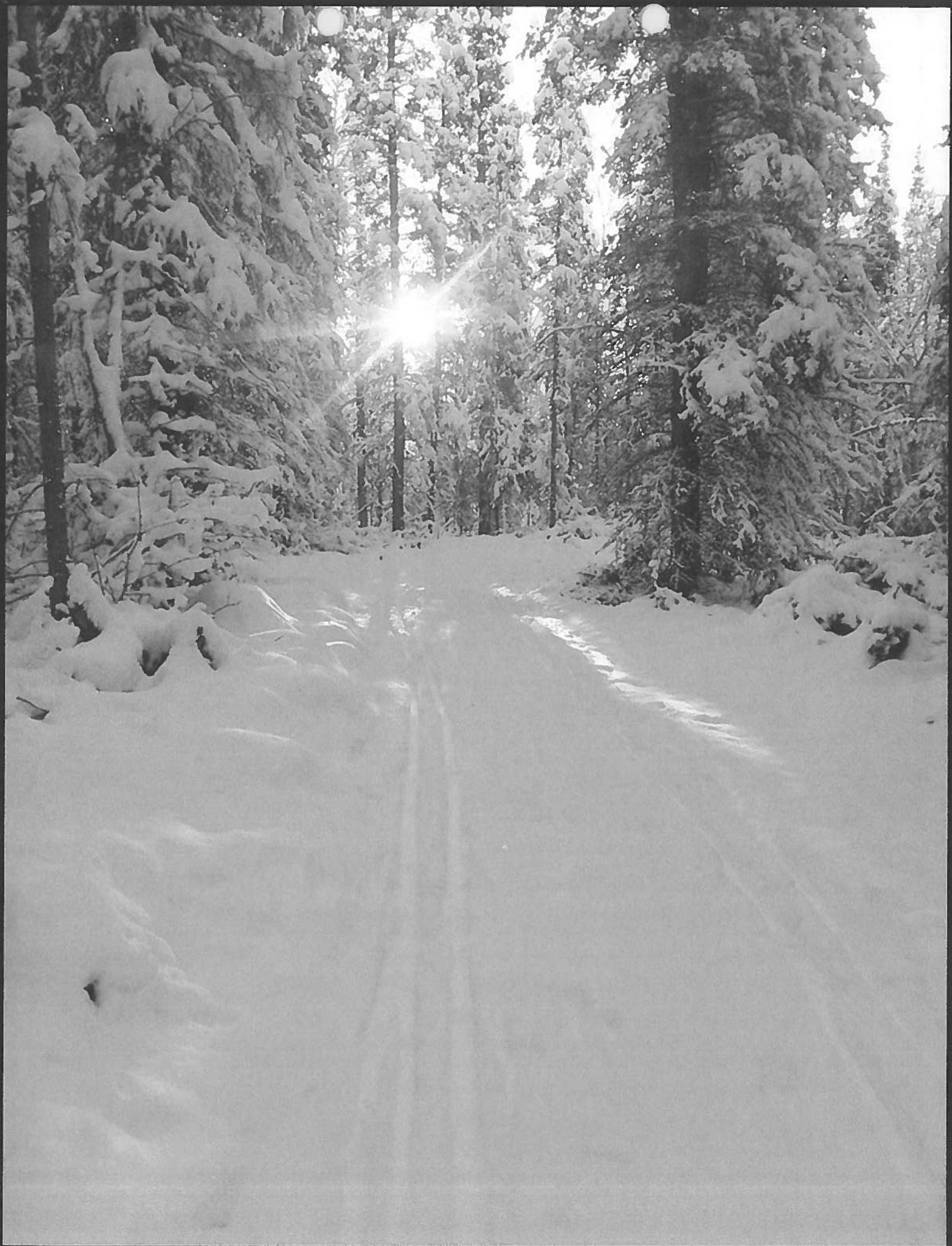
Quartz Ave (ROW), City of Delta Junction.

Block 14, State of Alaska / DEED / DGSD.



Portion of the Liewer Community Trail on State of Alaska / DEED / DGSD property (.93 miles).







Thank You to Our Contributors

Donor names and logos



Welcome to Liewer Community Trail



Trail map and icons