

LEMON CREEK CORRECTIONAL CENTER (LCCC) ROOF REPLACEMENT

STATE OF ALASKA
DEPARTMENT OF CORRECTIONS
Facilities
550 W 7th Ave Suite 1800
Anchorage, AK 99501

SHARED SERVICES
Division of General Services, Facilities Section
PO Box 11210
Juneau, AK 99801-0210

ARCHITECT

NorthWind Architects, LLC
126 Seward St
Juneau, Alaska 99801
(907) 586-6150
Sean Bolly, AIA

JUNEAU, AK
PROJECT LOCATION



APPLICABLE CODES

INTERNATIONAL BUILDING CODE 2012 EDITION (IBC)
INTERNATIONAL EXISTING BUILDING CODE 2012 EDITION (IBCE)
ALL CODES REFERENCED ARE TO BE USED AS AMENDED BY
THE STATE OF ALASKA AND THE CITY AND BOROUGH OF
JUNEAU

GENERAL NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR THE FABRICATION AND INSTALLATION OF ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC 2012 EDITION) AND ALL ITS RELATED DOCUMENTS AND AMENDMENTS. ALL MATERIALS SHALL BE STORED, HANDLED, AND INSTALLED PER MANUFACTURERS' OR MATERIAL ASSOCIATIONS' INSTRUCTIONS AND RECOMMENDATIONS.
- THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL CONDITIONS AFFECTING THE PROJECT SCOPE OF WORK, AND WILL NOTIFY THE OWNER OF ANY DISCREPANCIES, AND/OR VARYING CONDITIONS. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION RELATED ACTIVITIES WITH THE OWNER PRIOR TO EXECUTING ANY WORK OF THIS CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO THE FABRICATION AND INSTALLATION OF ANY MATERIALS. CONTRACTOR SHALL PROTECT ALL WORK AREAS FROM DAMAGE DUE TO CONSTRUCTION, RELATED WORK, AND WEATHER. DAMAGED AREAS WILL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL ARCHITECTURAL ELEVATIONS ARE BASED FROM REFERENCE DATUM ELEVATION OF 0'-0" FROM TOP OF FINISH ROOF AT DRAIN. THESE BUILDING ARE NOT LEVEL AND SOME DIMENSIONS AS THEY RELATE TO ELEVATIONS MUST BE COORDINATED AND VERIFIED.
- CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF ALL ROOF, CEILING, AND FLOOR MOUNTED CONSTRUCTION RIGGING. AVOID STACKING ANY CONCENTRATED LOADS ON THE EXISTING ROOF. CONTRACTOR WILL BE RESPONSIBLE FOR ALL TEMPORARY SHORING AND ANY TEMPORARY WORK OPENINGS IN THE BUILDING ENVELOPE. ALL OPENINGS WILL BE REPAIRED WITH MATERIALS AND ASSEMBLIES TO MATCH EXISTING.
- UTILITIES: OWNER WILL FURNISH ELECTRICAL POWER (120V AND 220V) FOR EQUIPMENT AND LIGHTING. CONTRACTOR IS REQUIRED TO FURNISH ALL TEMPORARY ACCESS TO CONSTRUCTION, LIGHTING AND HEAT. CONTRACTOR SHALL NOT USE OWNER PROVIDED ELECTRICITY FOR TEMPORARY HEAT. CONTRACTOR SHALL PROVIDE AND MAINTAIN SEPARATE TOILET FACILITIES DURING CONSTRUCTION.
- INSPECTION: THE CONTRACTOR IS TO NOTIFY OWNER OF DAMAGED MATERIALS OBSERVED DURING CONSTRUCTION. REPLACE DAMAGED MATERIALS AS DIRECTED AND AUTHORIZED BY THE OWNER. WORK OUTSIDE THE SCOPE OF THIS CONTRACT SHALL, ON THE AUTHORIZATION OF THE OWNER, BE REPLACED AT ADDITIONAL NEGOTIATED COST TO THE CONTRACT.
- THE CONTRACTOR SHALL PROVIDE TO THE OWNER AT THE TIME OF CONTRACT CLOSE-OUT, THE PRODUCTS, SPARE PARTS, EXTRA STOCK, AND MAINTENANCE MATERIALS IN QUANTITIES SPECIFIED, IN ADDITION TO THAT USED FOR CONSTRUCTION OF THE WORK.
- REMOVE OR SALVAGE ALL ACCESSORIES, LIGHTING, DEVICES AND EQUIPMENT PRIOR TO PROCEEDING WITH THE WORK. REINSTALL ALL ITEMS IDENTIFIED FOR SALVAGE AND REUSE AFTER COMPLETION OF THE WORK, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER. REPAIR/PATCH EXISTING FINISHES TO MATCH SURROUNDING WHERE ITEMS ARE REMOVED AND NOT REINSTALLED.
- WHERE PIPE OR CONDUIT ARE IDENTIFIED FOR REMOVAL UP TO REMAINING, ENDS ARE TO BE CUT BACK BEHIND FACE OF FINISH, CAPPED OR SEALED, AND FINISH EXTENDED ACROSS PENETRATION.
- THE CONTRACTOR SHALL ENSURE COORDINATION AND CONTINUITY BETWEEN TRADES, AND SHALL CONFIRM ALL CONDITIONS NECESSARY TO PROCEED WITH ANY COMPONENT OF THE WORK, INCLUDING PREPARATION OF ANY NEW OR EXISTING MATERIAL SUBSTRATE OR SURFACE TO RECEIVE FINISHES AND/OR EQUIPMENT.
- ALL ITEMS IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS ARE NEW AND TO BE PROVIDED AS A PART OF THIS CONTRACT, UNLESS OTHERWISE NOTED.
- ALL ITEMS IDENTIFIED FOR SALVAGE BUT NOT REINCORPORATED IN THE WORK ARE TO BE TURNED OVER TO OWNER UNLESS OTHERWISE NOTED OR DIRECTED.
- DRAWING SCALE: THIS SET OF DRAWINGS HAS BEEN PRODUCED WITH SCALE INDICATORS AND BARS TO PRINT FULL SIZE 22"x34" SHEET SETS. FOR THE PURPOSE OF CLARITY, 22"x34" DRAWING SETS WILL BE IDENTIFIED AS "FULL-SIZE" SETS, AND 11"x17" DRAWING SETS WILL BE REFERRED TO AS "HALF-SIZE" SETS. FOR THE PURPOSE OF ACCURACY, VERIFY ALL MEASURED DIMENSIONS WITH SCALE BARS PROVIDED FOR AND THE SCALE VERIFICATION BAR IN THE ARCHITECTURAL TITLE BLOCK.

SCOPE OF WORK SUMMARY

- THE EXISTING ROOF SYSTEMS WERE INSTALLED SINCE 1990 AND ARE NOT ANTICIPATED TO CONTAIN ASBESTOS.
- WORK SHALL OCCUR WITHIN SECURE PERIMETER OF A STATE PRISON FACILITY. SECURITY AND SAFETY PROTOCOLS MANDATED BY THE STATE SHALL BE COORDINATED WITH THE OWNER AND STRICTLY ADHERED TO.
- PROVIDE TEMPORARY PLYWOOD BARREIR ON OUTSIDE (SIDE FACING THE WORK) OF THE HIGH SECURITY OUTDOOR RECREATION YARD DIRECTLY ADJACENT TO THE WORK. ANTICIPATE 12" PLYWOOD, 5' TALL BY LENGHT OF SECURITY BARRIER, SECURED TO SECURITY MESH WITH WIRE TIES.
- THE WORK SHALL BE PERFORMED ON A SCHEDULE TO MINIMIZE TIME ON SITE.
- CLEAN EXISING MEMBRANE AND REMOVE EXISTING METAL COPINGS, FLASHINGS, WALKWAY PROTECTION PADS AND ROOF DRAINS ON THE ROOF AREAS INDICATED IN THESE DOCUMENTS.
- OVERLAY RETROFIT: INSTALL NEW SINGLE PLY MEMBRANE ROOFING ASSEMBLY, INCLUDING PENETRATIONS, COVERBOARDS, MOVEMENT JOINT COVERS, COPINGS, WALKWAY PROTECTION PADS AND ROOF DRAINS, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WITH THE WORK.
- REMOVE ALL CONSTRUCTION RELATED DEBRIS DAILY AS THE WORK COMMENCES.
- PROTECT EXISTING ROOFING AREAS, COPINGS AND DRAINDS TO REMAIN. ENSURE CONSTRUCTION DIBRIS DO NOT CLOG DRAINS.

BID ALTERNATE

- ALTERNATE #1: DEDUCTIVE ALTERNATE. DELETE MECHANICALLY FASTENED COVER BOARD FROM SYSTEM, CLEAN EXISTING MEMBRANES AND ADHERE NEW EPDM RETROFIT ROOF SYSTEM DIRECTLY TO EXISTING ROOF MEMBRANE. FULL GLUE COVERAGE ON HORIZONTAL, SLOPED AND VERTICAL SURFACES. INSTALLATION TO CARRY ROOFING MANUFACTURERS 20-YEAR WARRANTY FOR DESIGN WIND SPEEDS. BASIS OF DESIGN: CARLISLE 60 MILS FLEESE BACK SURE SEAL BLACK WITH 2-PART FOAM ADHESIVE.

SHEET INDEX

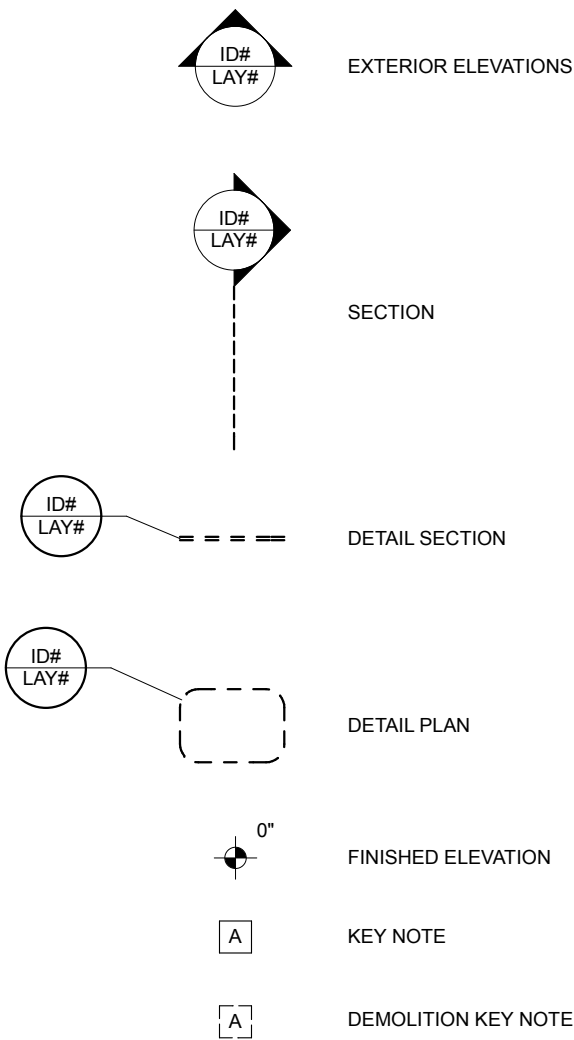
GENERAL

G00 TITLE SHEET / GENERAL INFO

ARCHITECTURAL

- G0.1 SITE PLAN
- A1.0 DEMO ROOF PLAN
- A2.0 OVERALL ROOF PLAN
- A3.0 ARCHITECTURAL DETAILS
- A3.1 ARCHITECTURAL DETAILS

SYMBOLS



Bid Documents
December 10, 2018

ADDENDUM NUMBER

ATTACHMENT NUMBER

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No.	DATE	DESCRIPTION

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550 W 7TH AVE SUITE 1800, ANCHORAGE AK 99501

SHARED SERVICES TERM CONTRACT

LCCC ROOF REPLACEMENT



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126 Seward St
Juneau, AK 99801

IF THE ABOVE DIMENSION DOES NOT MEASURE
ONE INCH (1") EXACTLY, THIS DRAWING WILL
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G00

TITLE SHEET /
GENERAL INFO

PROJECT DESIGNATION NUMBER

252208

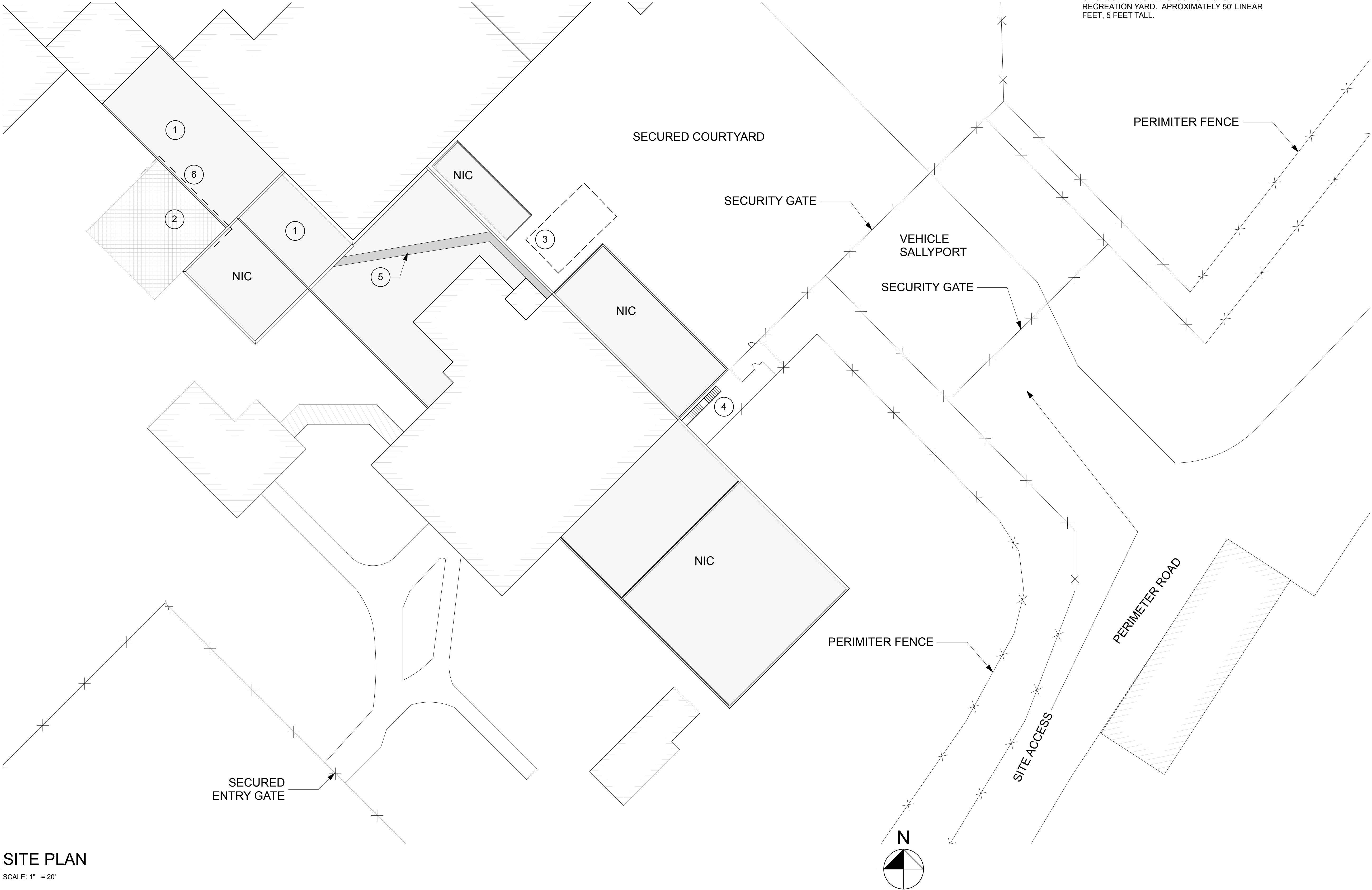
STATE	YEAR
ALASKA	2018

GENERAL SITE NOTES:

- 1. CONTRACTOR TO COMPLY WITH ALL FACILITY SECURITY PROTOCOLS.
- 2. ALL CONSTRUCTION WASTE TO BE REMOVED FROM SITE DAILY

SHEET NOTES:

- 1 WORK LIMITS
- 2 SECURE RECREATION YARD
- 3 STAGING AREA
- 4 STAIRS TO ROOF ACCESS
- 5 ROUTE TO WORK LIMITS
- 6 PLYWOOD SIGHT BARRIER ON WORK SIDE OF SECURITY MESH ENCLOSING ADJACENT RECREATION YARD. APPROXIMATELY 50' LINEAR FEET, 5 FEET TALL.



SITE PLAN

SCALE: 1" = 20'

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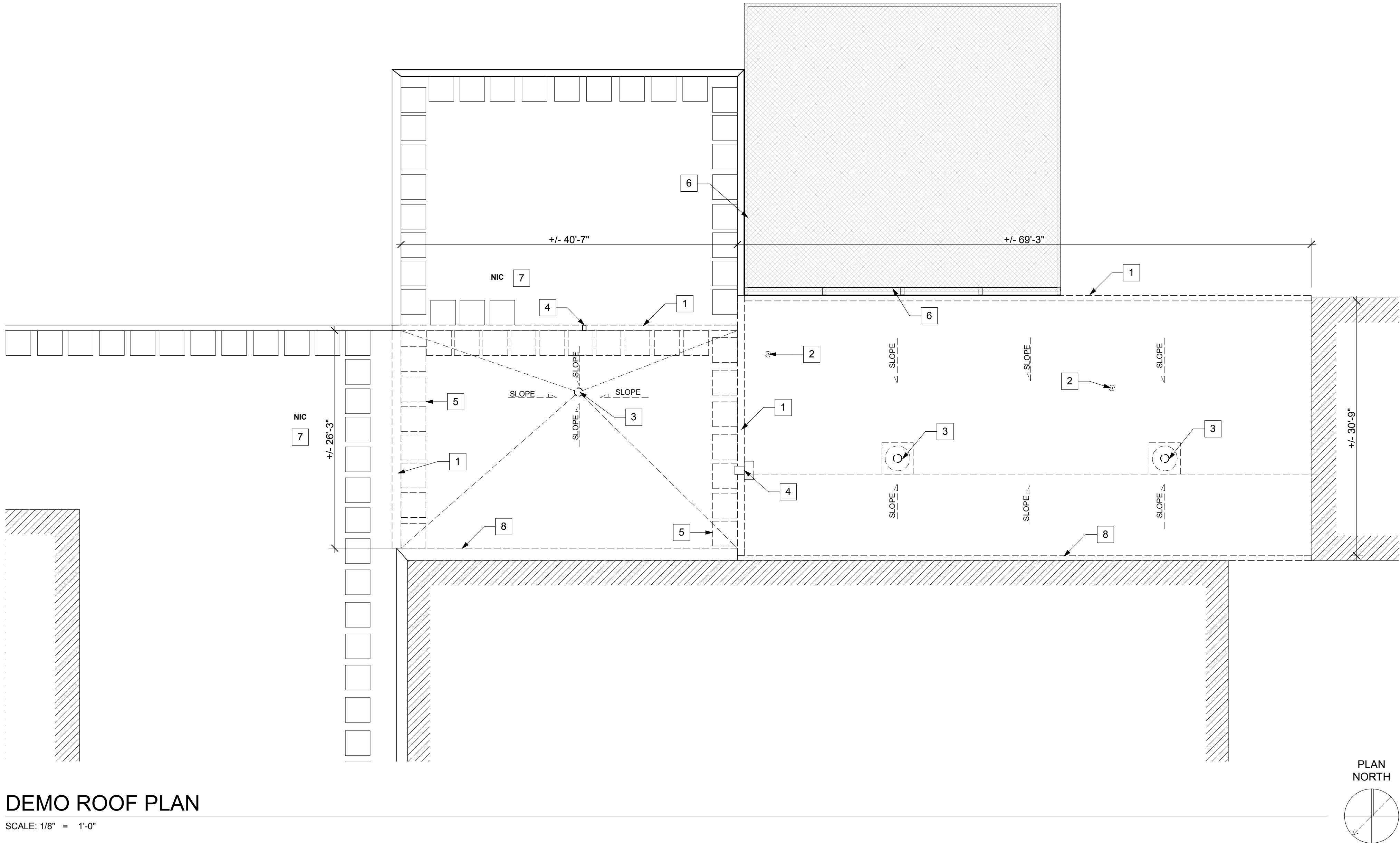


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G0.1	
SITE PLAN	
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DEMO ROOF PLAN

SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES:

1. (E) ROOF IS COMPRISED OF SINGLE PLY ROOF MEMBRANE, COVERBOARD AND TAPERED INSULATION OVER CONCRETE DECK. SHEETMETAL IS TYPICALLY ALUMINUM WITH COMBINATION OF CONCEALED CLIPS AND GASKETED FASTENERS.

DEMOLITION KEY NOTES:

- 1 REMOVE EXISTING COPING AND FLASHING TO SINGLE PLY ROOF MEMBRANE.
- 2 (E) PLUMBING VENT. REMOVE (E) BOOT AND CLAMP.
- 3 REMOVE (E) ROOF DRAIN CLAMP RING AND SCREEN.
- 4 REMOVE (E) SCUPPER
- 5 REMOVE (E) WALKWAY PADS
- 6 INSTALL 1/2" PLYWOOD CONTINUOUS TO (E) SECURE RECREATION YARD WITH LOOPS OF 12 GA STEEL WIRE TO MESH AT 18" CENTERS FOR DURATION OF THE WORK
- 7 PROTECT ADJACENT ROOF AREA
- 8 REMOVE (E) SIDEWALL AND MOVEMENT JOINT COVER/FLASHING. PRESERVE (E) JOINT BELOW.
- 9 TYP. WALKWAY PADS - PER ROOFING MANUFACTURER. ADHERE TO ROOFING.

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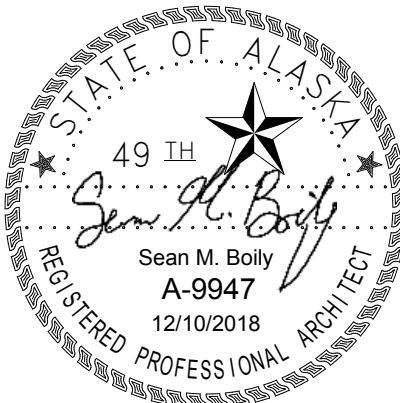
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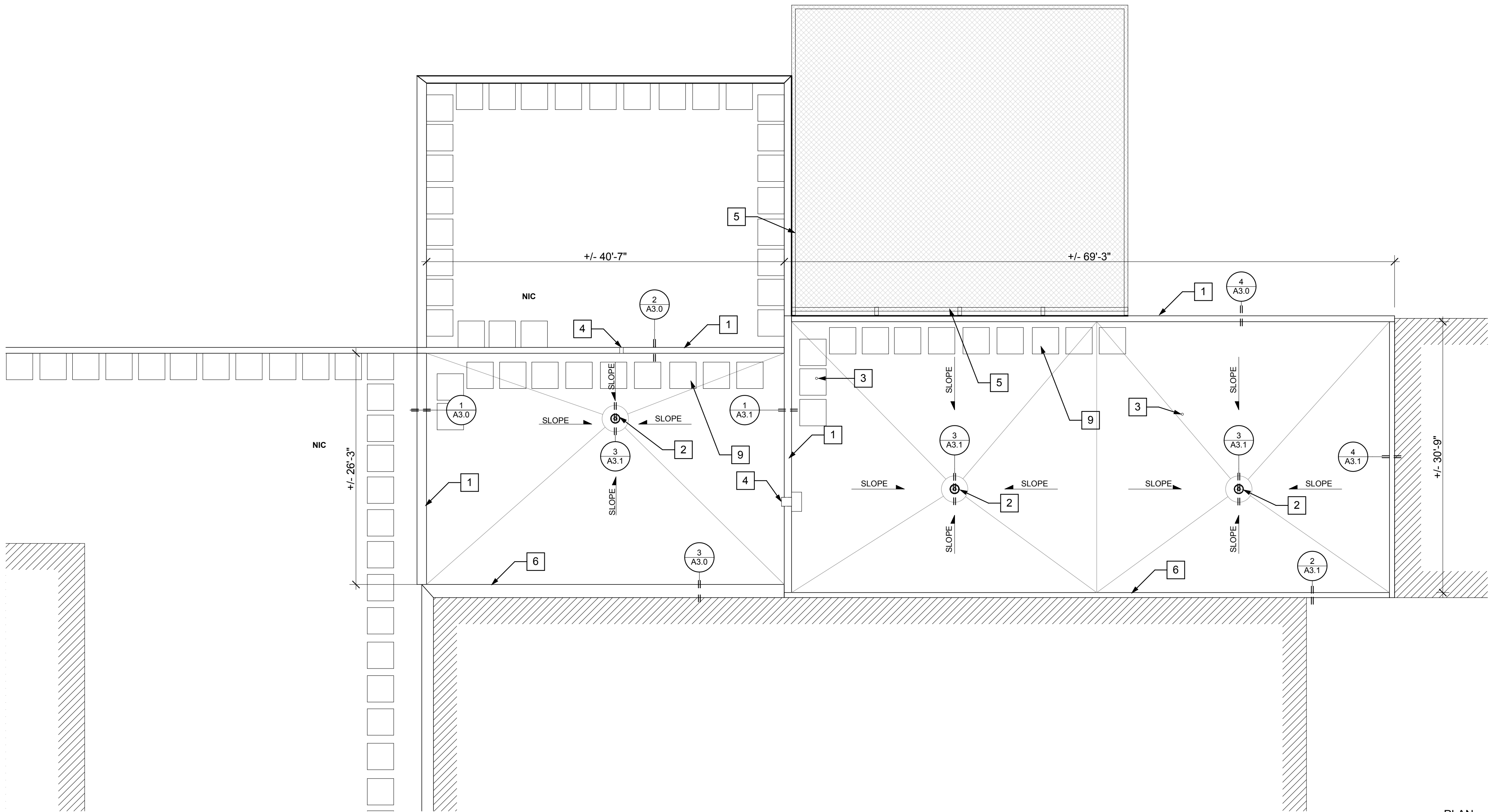
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A1.0
DEMO ROOF PLAN

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OVERALL ROOF PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

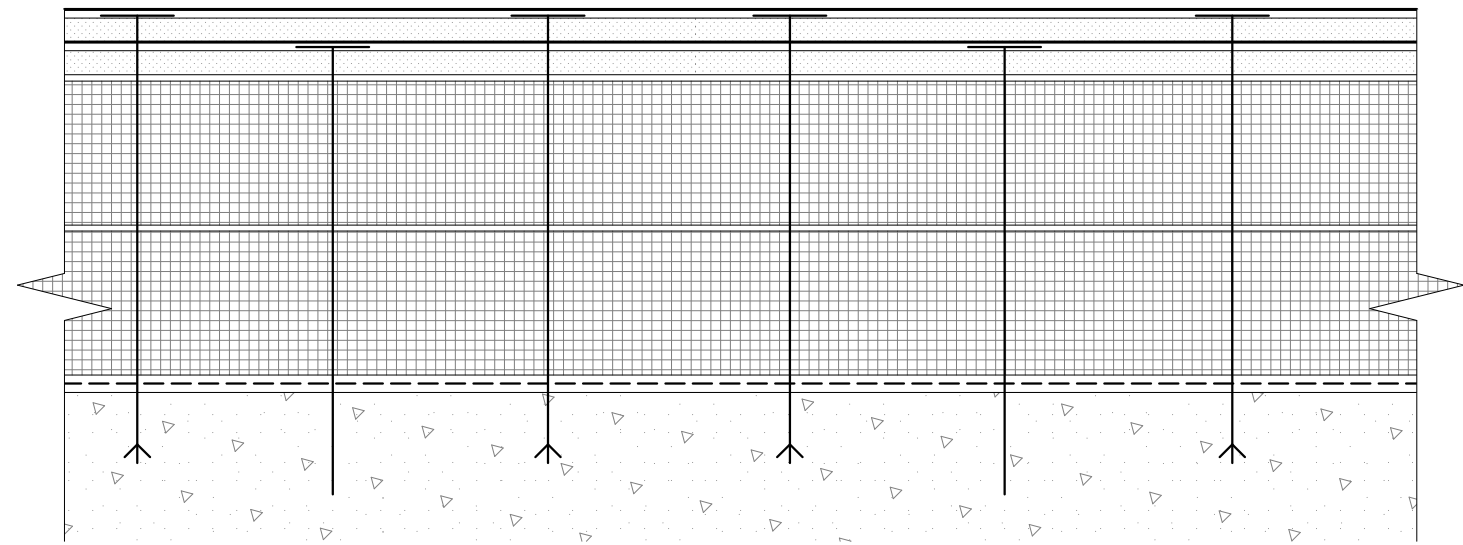
1. INSTALL NEW ROOF ASSEMBLY IN ACCORDANCE WITH ROOF TYPE R1. FULLY ADHERED ROOF ASSEMBLY OVER MECHANICALLY FASTENED SUBSTRATE IN ACCORDANCE WITH MANUFACTURER.
2. ROOF SLOPES WILL FOLLOW EXISTING POSITIVE DRAINAGE DO DRAINS AND OVERFLOWS.
5. WIND UPLIFT DESIGN TO BE COORDINATED BY CONTRACTOR AND ROOFING MANUFACTURER, AND SUBMITTED FOR REVIEW AND APPROVAL BY ARCHITECT. DESIGN SHALL ACCOUNT FOR EDGE AND CORNER CONDITIONS AND WINDS SPEED (3 SEC. GUST) = 105 MPH. EXPOSURE C. MECHANICAL ATTACHMENT OF NEW COVER BOARD SHALL BE THROUGH EXISTING ROOFING AND INSULATION ASSEMBLY TO EXISTING CONCRETE SUBSTRATE.

KEY NOTES:

- 1 (N) COPING AND FLASHING
- 2 (N) ROOF DRAIN CLAMP RING AND SCREEN AT EXISTING ROOF DRAIN BODY.
- 3 (N) BOOTS FOR ALL PIPE PENETRATIONS - COORDINATE WITH ROOFING SYSTEM.
- 4 (N) SCUPPER ASSEMBLY - REPLICATE EXISTING.
- 5 INSTALL 1/2" PLYWOOD CONTINUOUS TO (E) SECURE RECREATION YARD WITH LOOPS OF 12 GA STEEL WIRE TO MESH AT 18" CENTERS FOR DURATION OF THE WORK
- 6 INSTALL NEW SIDEWALL /JOINT COVER ASSEMBLY. EXTEND NEW ROOF MEMBRANE OVER EXISTING JOINT ASSEMBLY TO WALL.

ROOF ASSEMBLY
ADHERED SINGLE PLY ROOF MEMBRANE
MECHANICALLY FASTENED COVER BOARD
(E) ADHERED SINGLE PLY ROOF MEMBRANE
(E) MECHANICALLY FASTENED COVER BOARD
(E) RIGID INSULATION
(E) VAPOR RETARDER
(E) CONCRETE FILLED METAL PAN ROOF DECK

R1



ADDENDUM NUMBER

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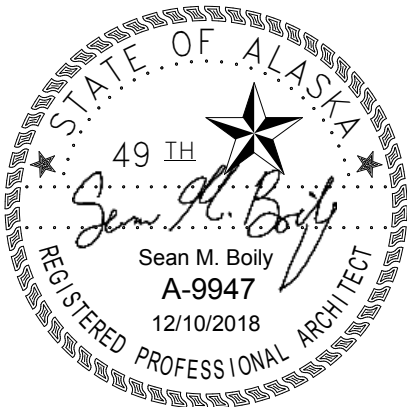
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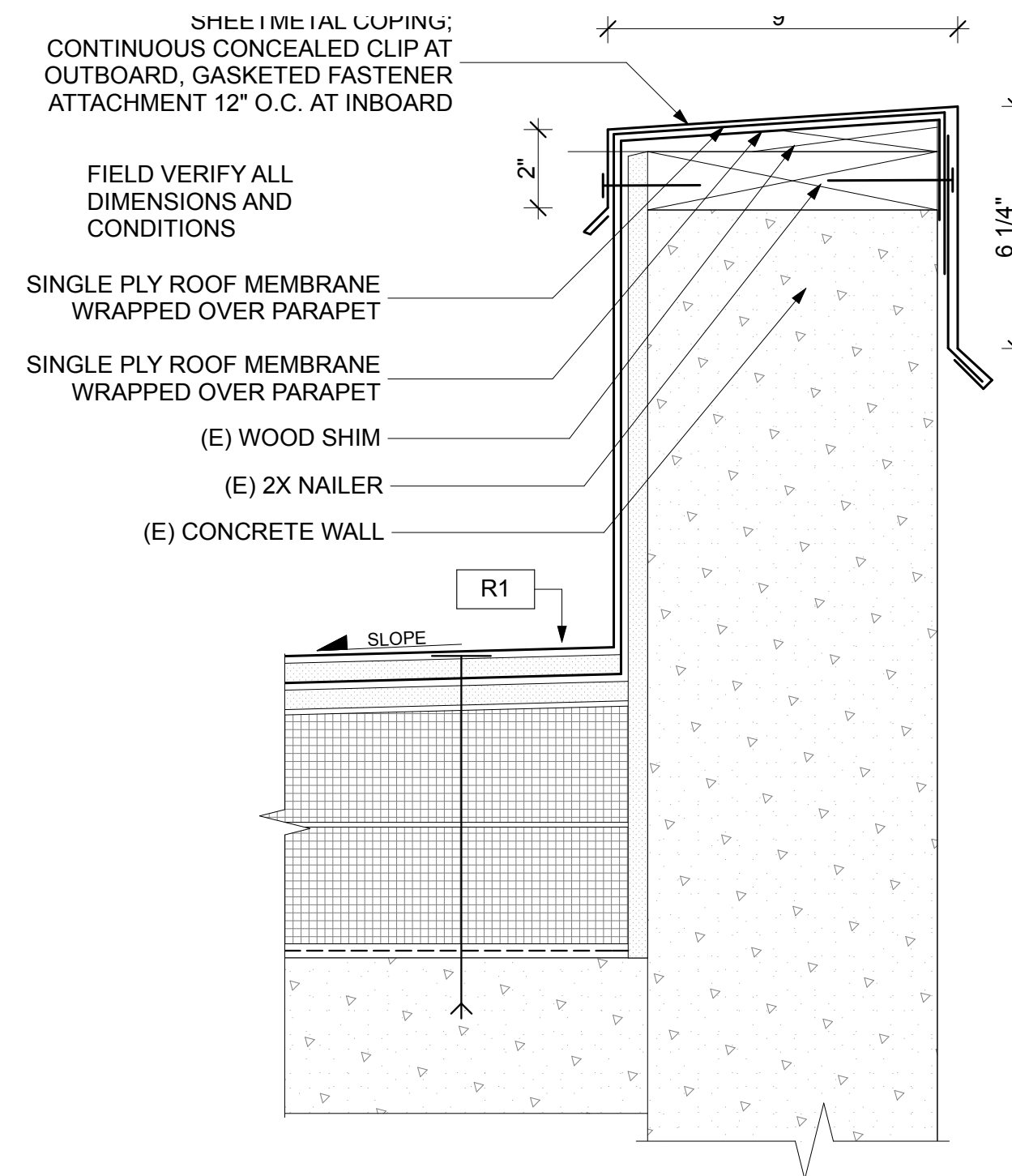
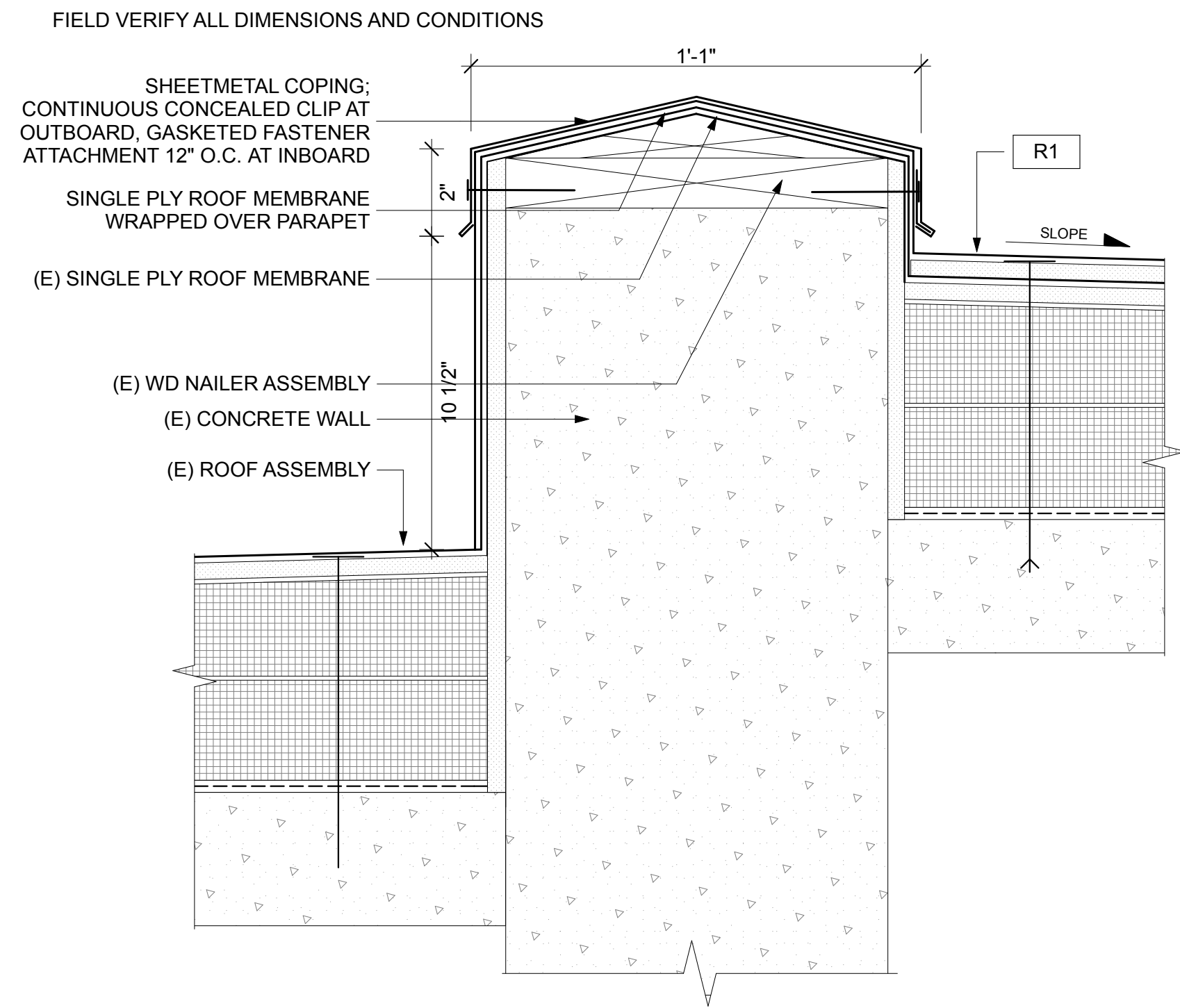
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A2.0
OVERALL ROOF PLAN

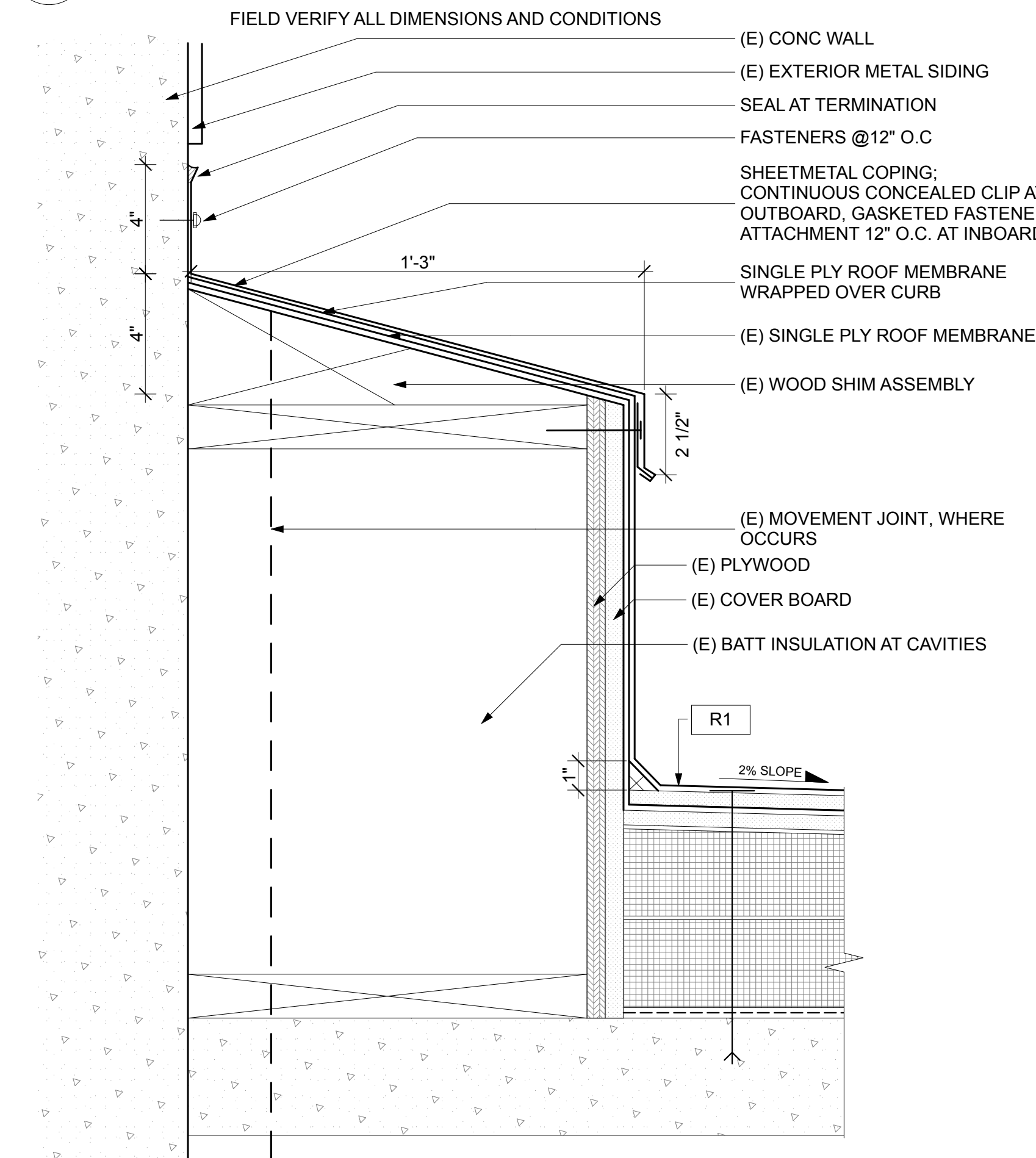
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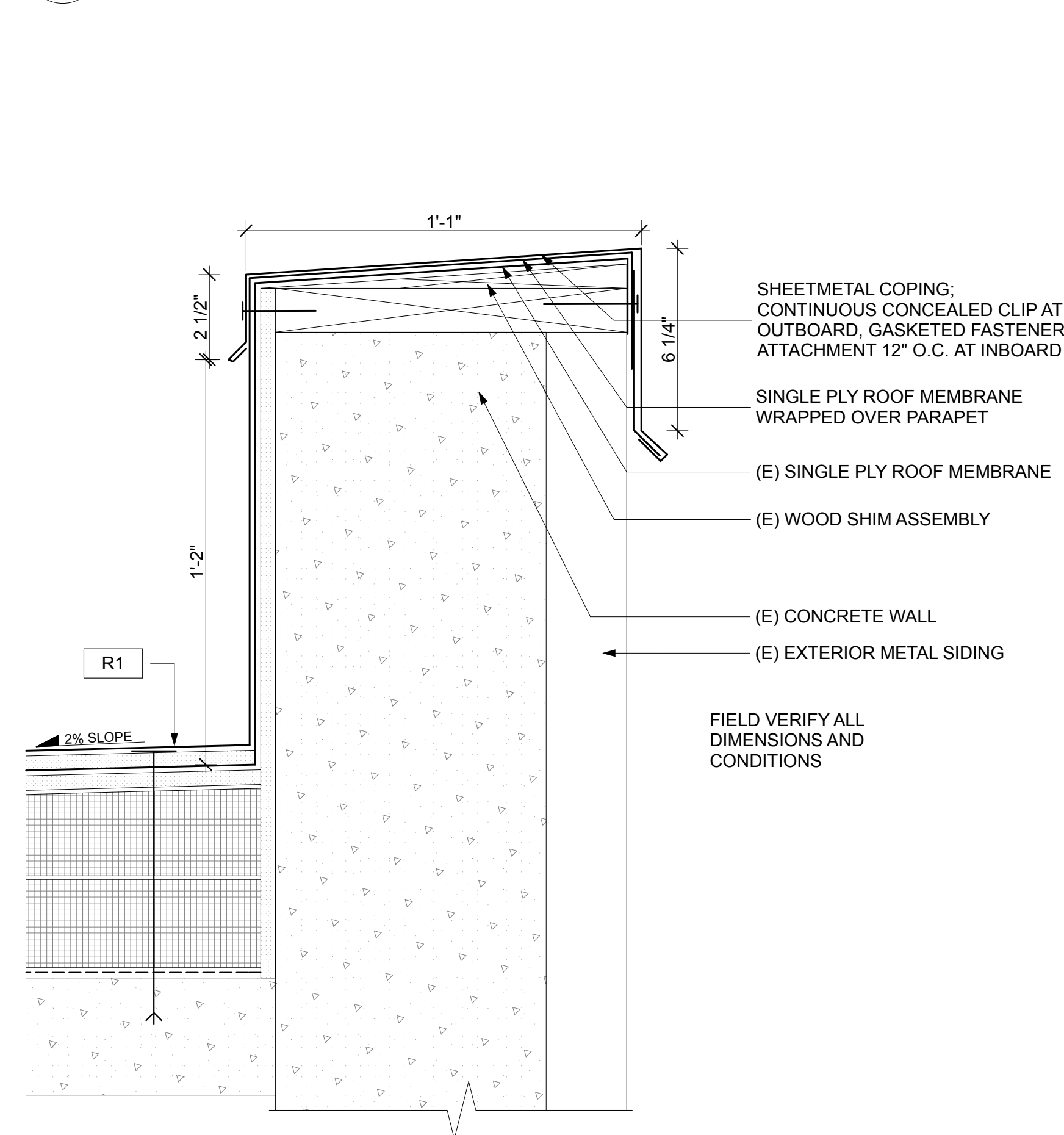
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1 PARAPET
SCALE: 3" = 1'-0"



2 PARAPET
SCALE: 3" = 1'-0"



3 SIDEWALL JOINT COVER
SCALE: 3" = 1'-0"

4 PARAPET
SCALE: 3" = 1'-0"

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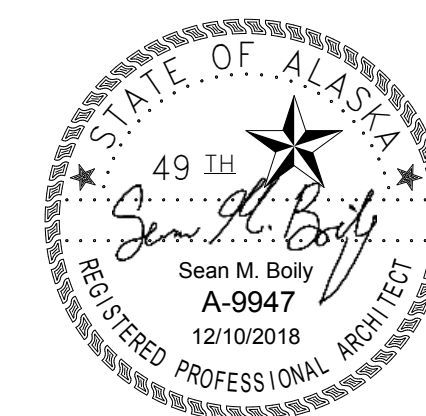
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A3.0
ARCHITECTURAL
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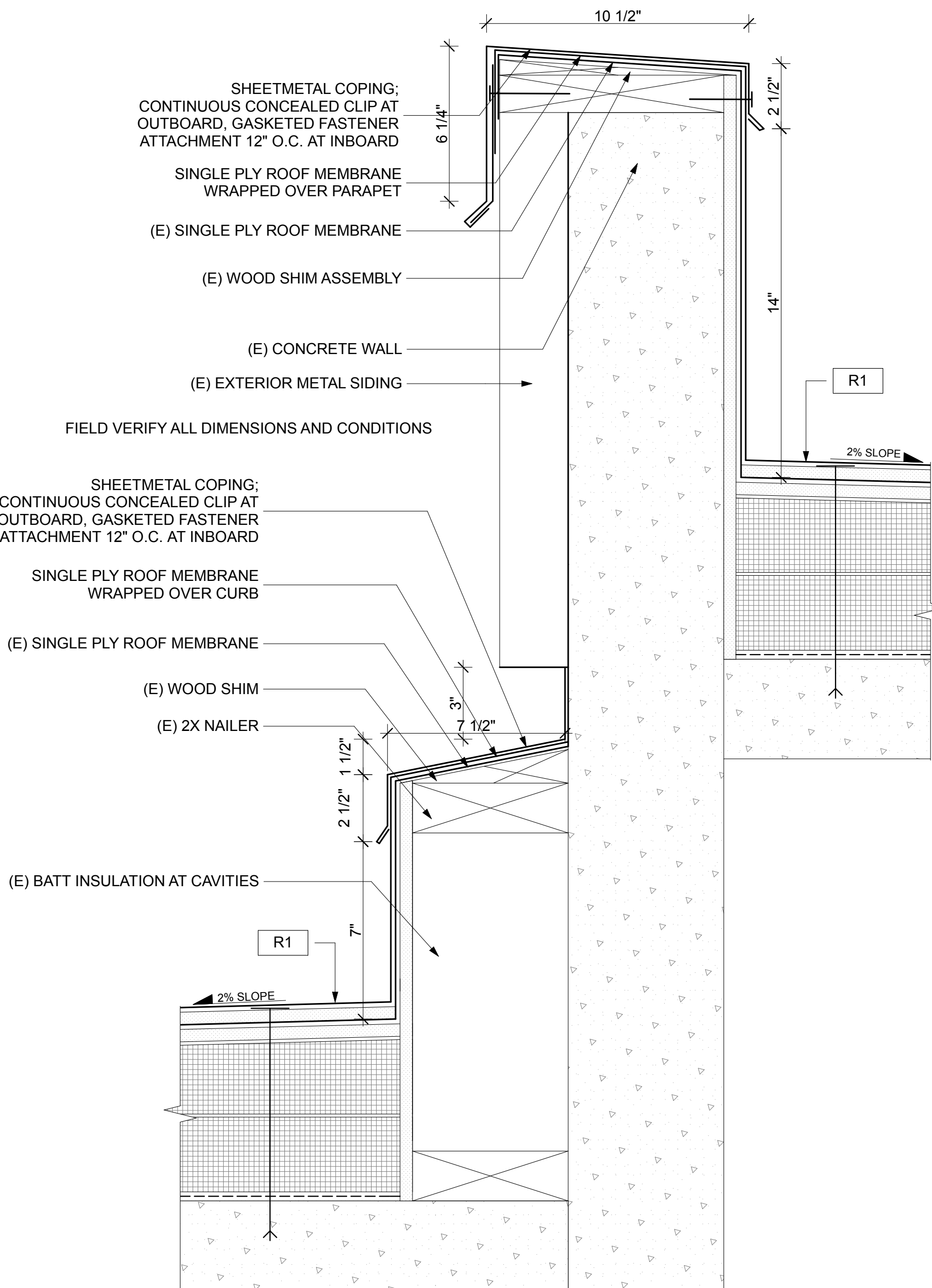
A3.1

ARCHITECTURAL
DETAILS

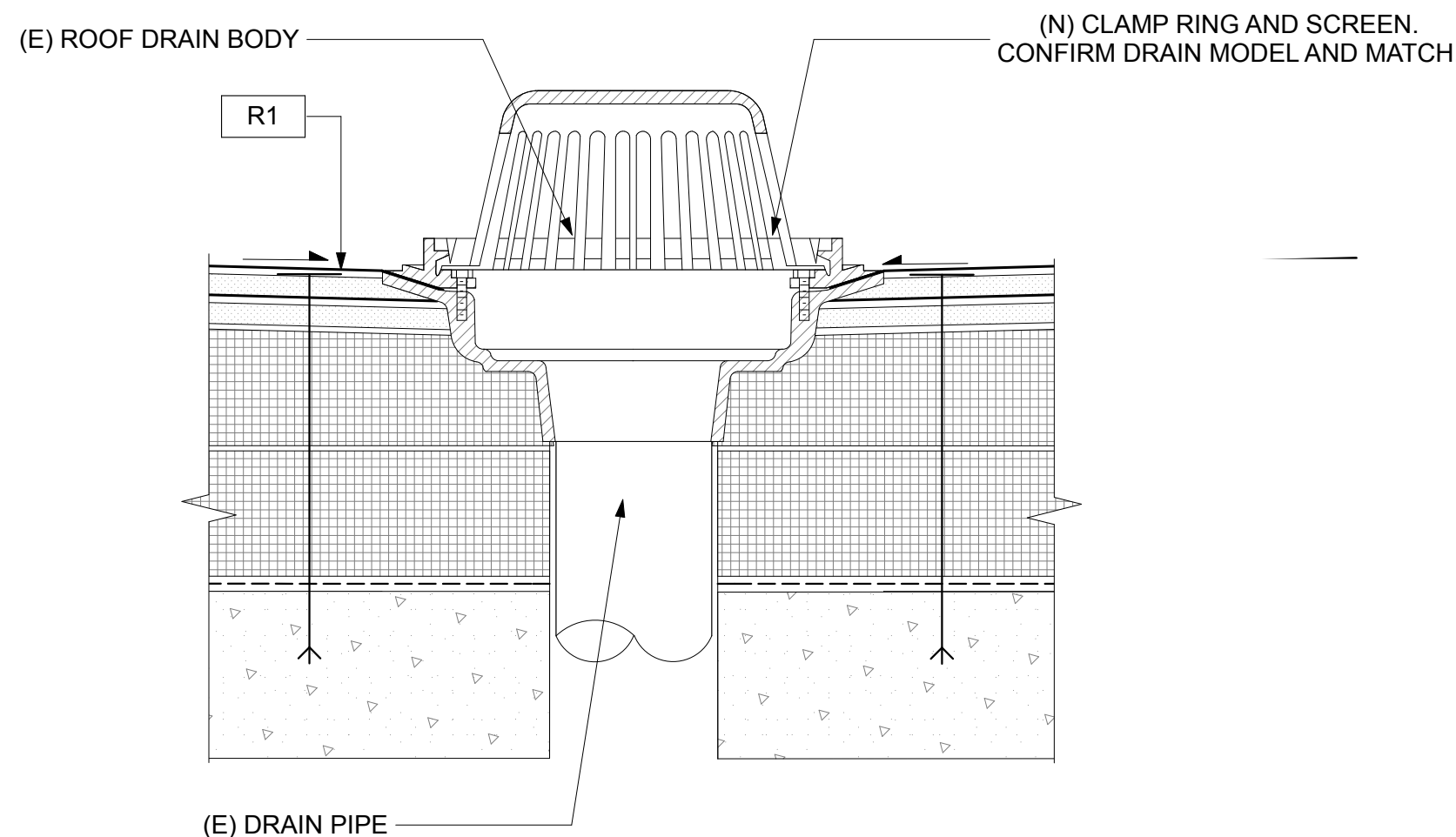
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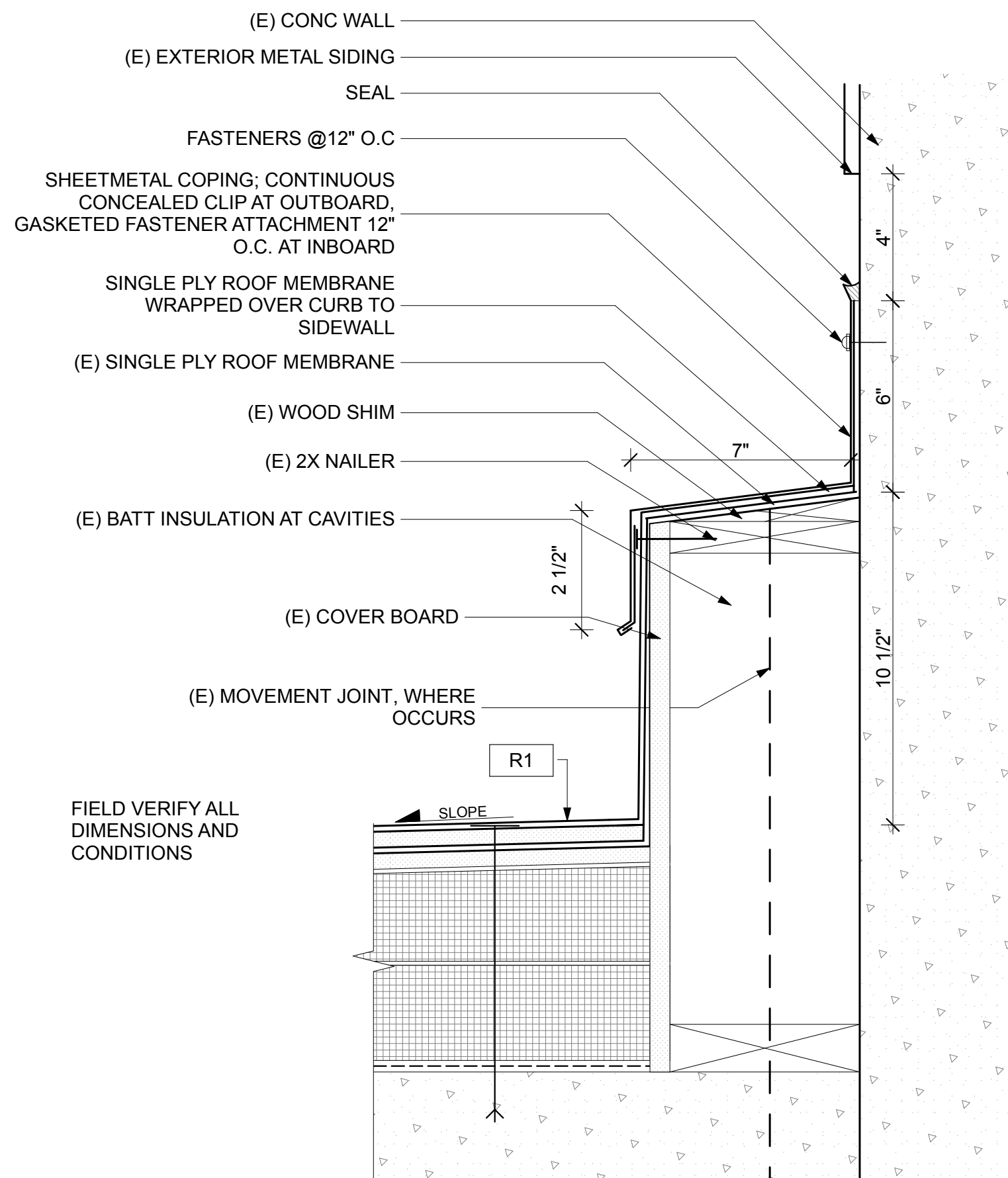
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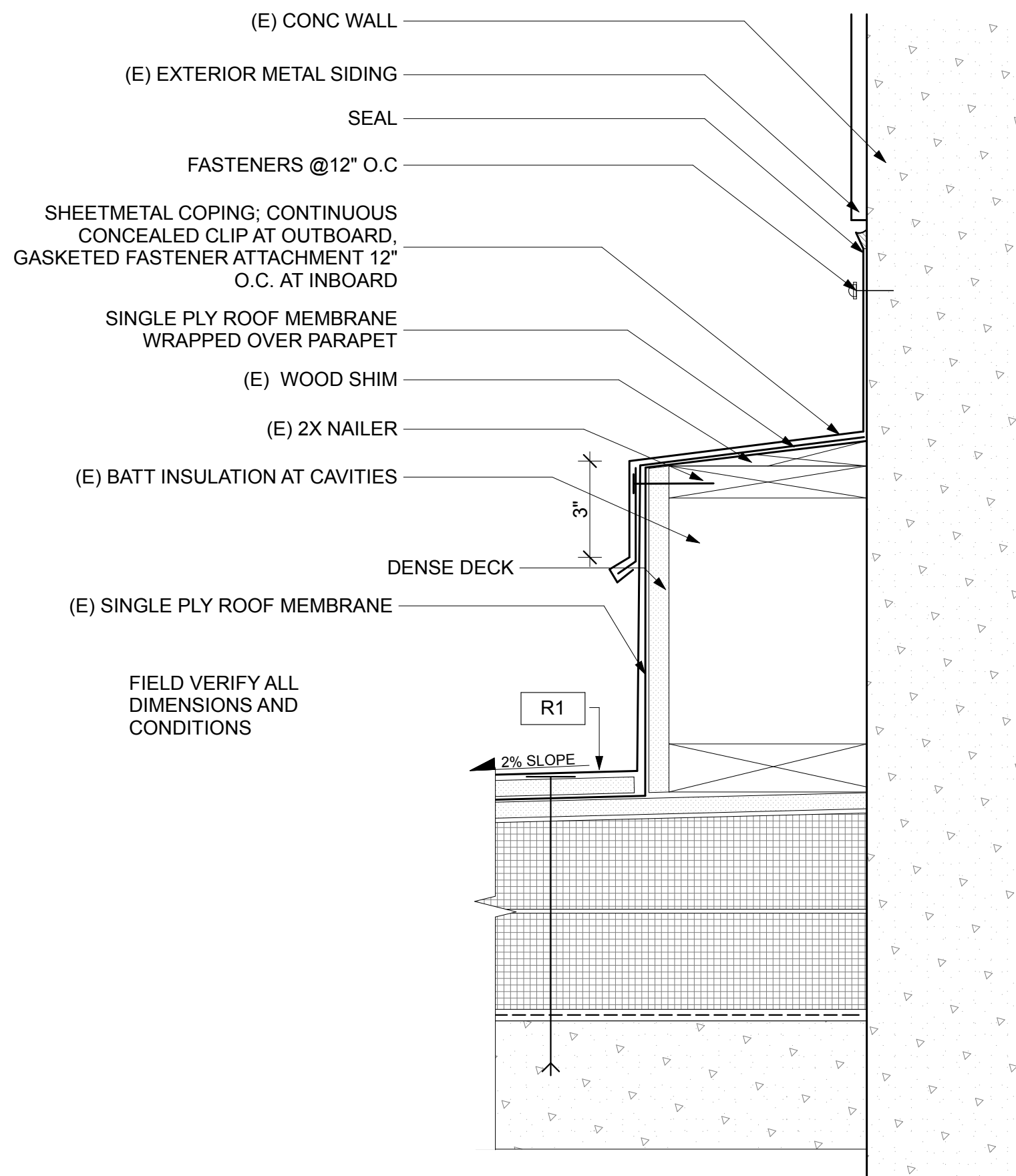
1 SIDEWALL & PARAPET
SCALE: 3" = 1'-0"



3 ROOF DRAIN
SCALE: 3" = 1'-0"



2 SIDEWALL
SCALE: 3" = 1'-0"



4 SIDEWALL
SCALE: 3" = 1'-0"