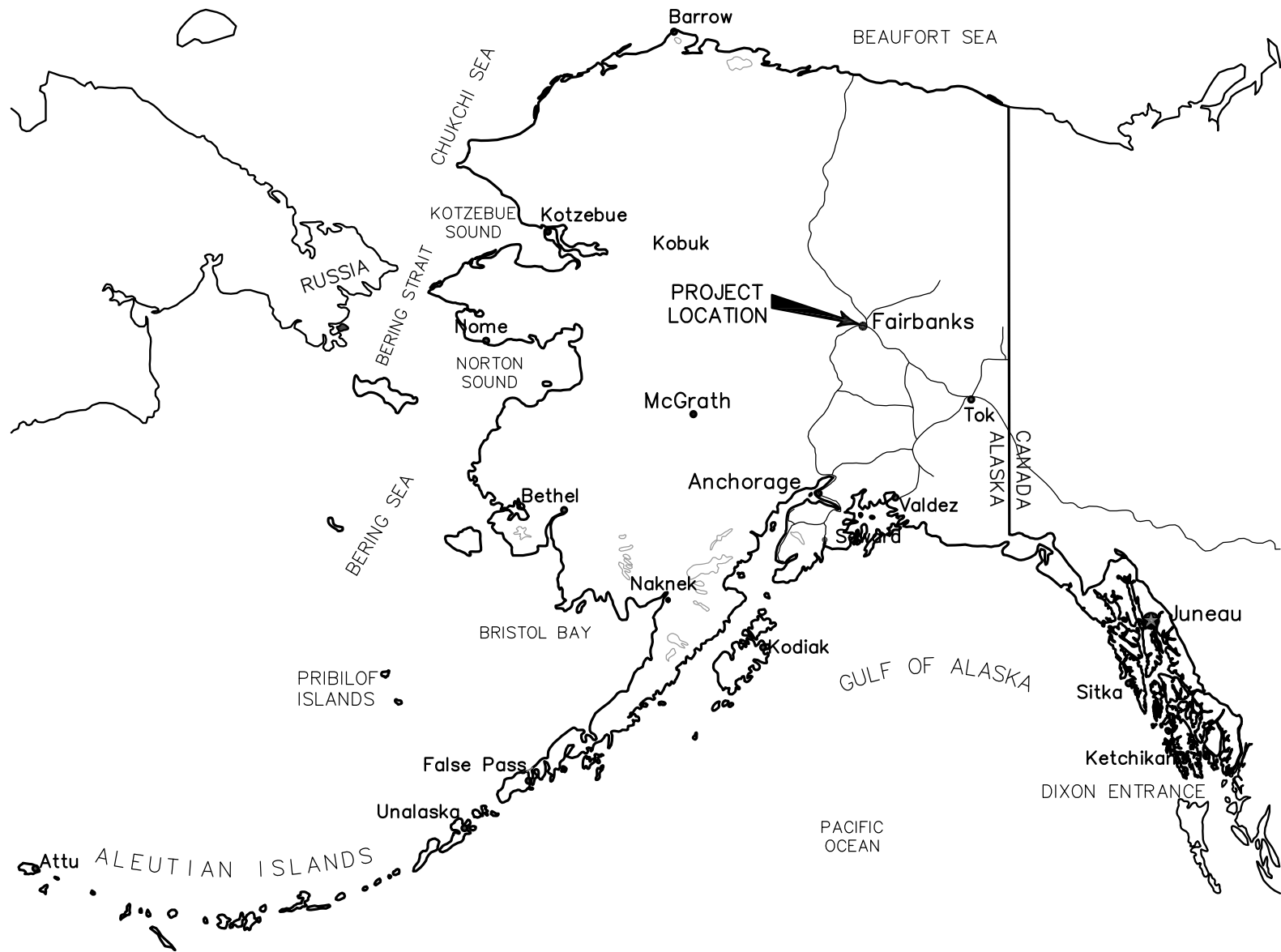


STATE OF ALASKA
DEPARTMENT OF TRANSPORTATION AND PUBLIC FACILITIES
**FAIRBANKS CORRECTIONAL CENTER -
EPDM ROOF REPLACEMENT**



PROJECT LOCATION MAP



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G101 ABBREVIATIONS, SYMBOLS LEGEND AND CODE ANALYSIS
- HAZARDOUS MATERIALS**
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H102 - ASBESTOES SAMPLE LOCATIONS AND RESULTS
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- ARCHITECTURE**
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M101 - PARTIAL ROOF DEMOLITION PLAN - AREA 'B'
M102 - PARTIAL ROOF PLANS - AREA 'A'
M103 - PARTIAL ROOF RENOVATION PLAN - AREA 'B'

100% CONSTRUCTION DOCUMENTS
OCTOBER 26, 2018

ARCHITECTURE: BETTISWORTH NORTH ARCHITECTS
PHONE: (907) 561-5780
CONTACT: ROY ROUNDTREE
EMAIL: roundtree@bettisworthnorth.com

STRUCTURAL: N/A

MECHANICAL: RSA ENGINEERING, INC.
PHONE: (907) 276-0521
CONTACT: MARK FRISCHKORN, P.E.
EMAIL: mfrischkorn@rsa-ak.com

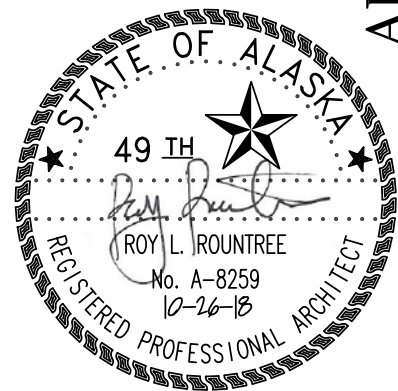
ELECTRICAL: N/A

HAZARDOUS MATERIALS: NORTECH, INC.
PHONE: (907) 452-5688
CONTACT: PETER BEARDSLEY, P.E.
EMAIL: peter@nortechegr.com

CIVIL: N/A

SURVEY: N/A

GEOTECHNICAL: N/A



**FAIRBANKS CORRECTIONAL CENTER -
EPDM ROOF REPLACEMENT**
(DOT&PF PROJ NO. 2501000046)
1931 EAGAN AVENUE, FAIRBANKS, ALASKA 99701-

CONSULTANT:

PROJECT NO: 18-155
DATE: 10/26/2018
DRAWN BY: JLL
CHECKED BY: RR

Symbol	Description	Date

COVER SHEET

G100

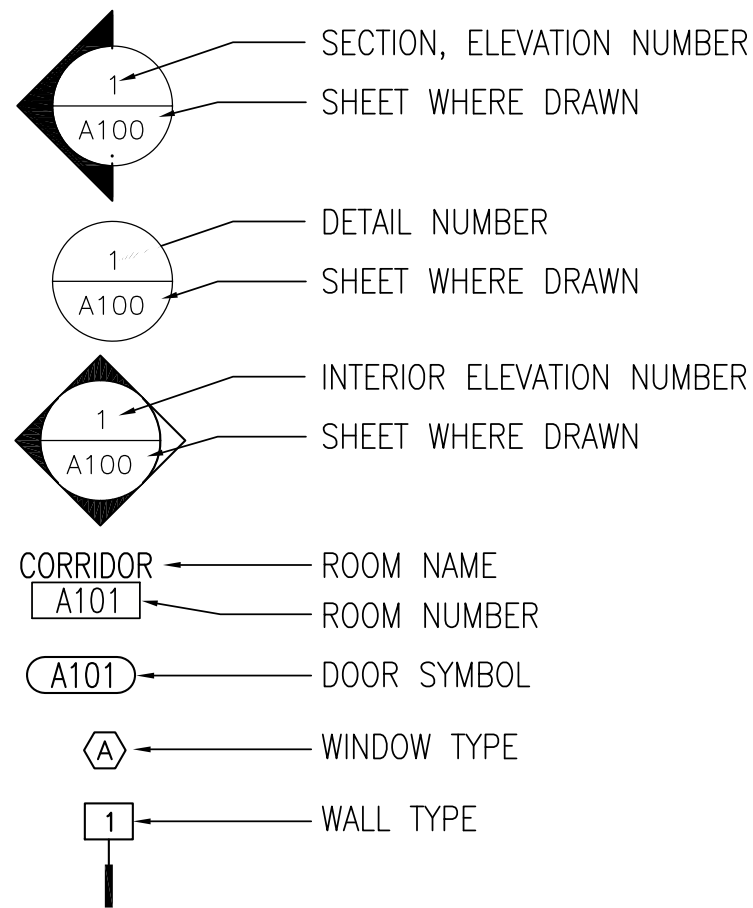
ARCHITECT: BETTISWORTH NORTH
2600 DENALI STREET SUITE 710 ANCHORAGE, ALASKA 99503 (907) 561-5780
212 FRONT STREET FAIRBANKS, ALASKA 99701 (907) 452-5780
CORPORATE NO. ABCC219 WWW.BETTISWORTHNORTH.COM

100% CONSTRUCTION DOCUMENTS

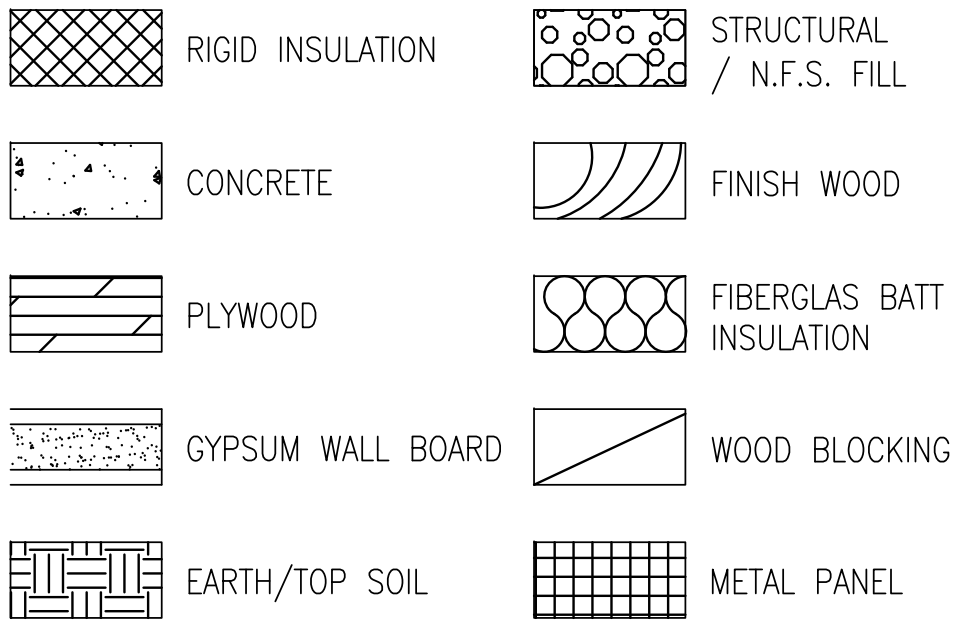
ABBREVIATIONS

ACST	ACOUSTICAL	MDO	MEDIUM DENSITY OVERLAY
ADD ALT	ADDITIVE ALTERNATE	MECH	MECHANICAL
ADJ	ADJUSTABLE	MEMB	MEMBRANE
AFF	ABOVE FINISH FLOOR	MANUF	MANUFACTURER
ALT	ALTERNATE	MIN	MINIMUM
ALUM	ALUMINUM	MIRR	MIRROR
APPROX	APPROXIMATE	MISC	MISCELLANEOUS
ARCH	ARCHITECTURAL	MTL	METAL
ASSEMB	ASSEMBLY	NIC	NOT IN CONTRACT
BD	BOARD	NOM	NOMINAL
BLDG	BLDG	NTS	NOT TO SCALE
BLKG	BLOCKING	OC	ON CENTER
BLDS	BLINDS	OFCI	OWNER FURNISHED/ CONTRACTOR INSTALLED
BOD	BOTTOM OF DECK	OFOI	OWNER FURNISHED & OWNER INSTALLED
BOT	BOTTOM	OH	OVERHEAD DOOR
CG	CORNER GUARD	OPP	OPPOSITE
CJ	CONTROL JOINT	ORD	OVERFLOW ROOF DRAIN
CL	CENTERLINE	ORDRS	OVERFLOW ROOF DRAIN RELIEF SCUPPER
CLG	CEILING	OTS	OPEN TO STRUCTURE
CMU	CONCRETE MASONRY UNIT	PC	PIECE
CONC	CONCRETE	PLAM	PLASTIC LAMINATE
CONST	CONSTRUCTION	PL	PLATE
CONT	CONTINUOUS	PLY	PLYWOOD
COORD	COORDINATION	PR	PAIR
CPT	CARPET	PREP	PREPARATION
CT	CERAMIC TILE	PT	PAINT
CUH	CABINET UNIT HEATER	RA	RETURN AIR
DIA	DIAMETER	RB	RUBBER BASE
DIM	DIMENSION	RD	ROOF DRAIN
DISP	DISPENSER	REF	REFRIGERATOR
DN	DOWN	REFL	REFLECTED
DTL	DETAIL	REINF	REINFORCING
DW	DISH WASHER	REQ	REQUIRED
DWG	DRAWING	REV	REVISED
EA	EACH	RM	ROOM
EL	ELEVATION	RO	ROUGH OPENING
EJ	EXPANSION JOINT	RS	ROOM SIGN
ELEC	ELECTRICAL	RSF	RESILIENT SHEET FLOORING
EQ	EQUAL	SA	SUPPLY AIR
EXPAN	EXPANSION	SACT	SUSPENDED ACOUSTICAL CEILING TILE
EXT.	EXTERIOR	SAM	SELF-ADHERING MEMBRANE
FD	FLOOR DRAIN	SC	SEALED CONCRETE
FDN	FOUNDATION	SECT	SECTION
FE	FIRE EXTINGUISHER	SEP	SEPARATION
FF	FACTORY FINISH	SF	SQUARE FEET
FIN	FINISH	SHT	SHEET
FL	FLASHING	SHTG	SHEATHING
FOC	FACE OF CONCRETE	SIM	SIMILAR
FOF	FACE OF FRAMING	SPEC	SPECIFICATION(S)
FOS	FACE OF STUD	SQ	SQUARE
FP	FIRE-PROOFING	STL	STEEL
FR	FIRE RESISTANT	STRUCT	STRUCTURAL
FRP	FIBERGLASS REINFORCED PANEL	SV	SHEET VINYL
FS	FLOOR SINK	TB	TACK BOARD
FT	FOOT, FEET	TD	TRENCH DRAIN
FTG	FOOTING	THRESH	THRESHOLD
FURR	FURRING	TO	TOP OF
GALV	GALVANIZED	TOS	TOP OF SLAB
GYP	GYPSUM	TRANSL	TRANSLUCENT
HM	HOLLOW METAL	TYP	TYPICAL
HP	HIGH POINT	UNO	UNLESS NOTED OTHERWISE
HORIZ	HORIZONTAL	V	VARNISH
INS	INSULATED	VERT	VERTICAL
JAN	JANITOR	VTR	VENT THROUGH ROOF
LAV	LAVATORY	WD	WOOD
LP	LOW POINT	WM	WALKOFFMAT
MAT	MATERIAL		
MAX	MAXIMUM		
MB	MARKER BOARD		

DRAWING SYMBOLS:



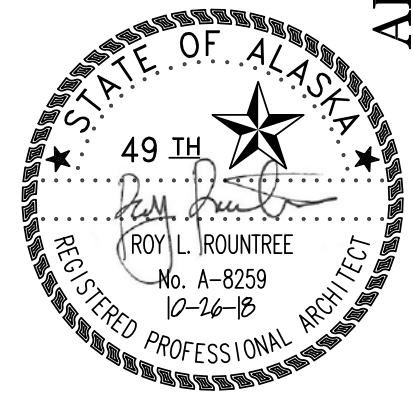
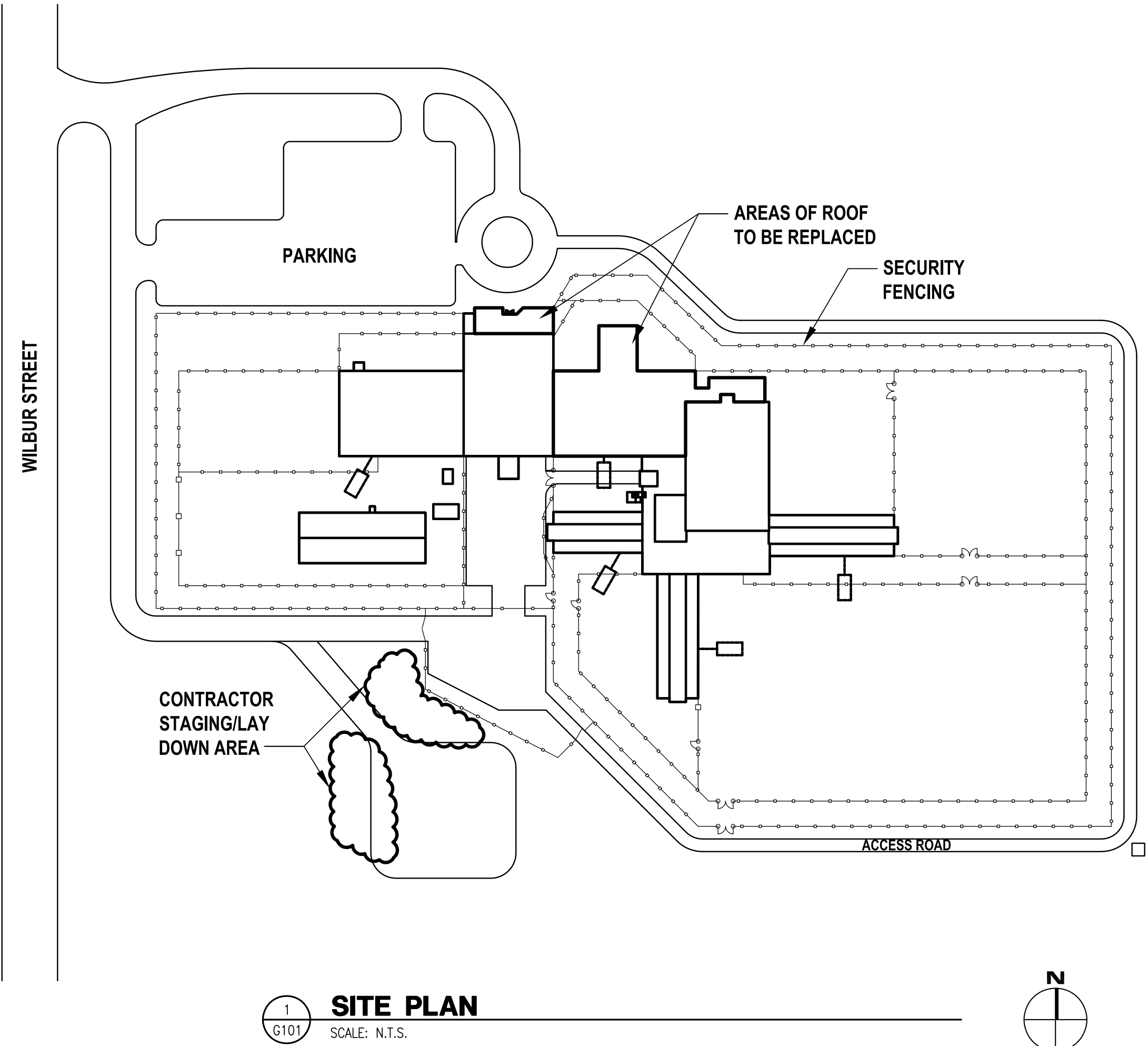
MATERIAL SYMBOLS:



CODE STUDY:

APPLICABLE CODES
2012 INTERNATIONAL BUILDING CODES WITH STATE OF ALASKA AMENDMENTS
2014 NATIONAL ELECTRICAL CODE (NFPA 70)
2015 UNIFORM PLUMBING CODE

OCCUPANCY CLASSIFICATION: INSTITUTIONAL GROUP I-3, CONDITION 4
TYPE OF CONSTRUCTION: TYPE I-B FULLY SPRINKLERED



FAIRBANKS CORRECTIONAL CENTER -
EPDM ROOF REPLACEMENT
(DOT&PF PROJ NO. 2501000046)
1931 EAGAN AVENUE, FAIRBANKS, ALASKA 99701-

CONSULTANT:

PROJECT NO: 18-155
DATE: 10/26/2018
DRAWN BY: JLL
CHECKED BY: RR

Symbol	Description	Date

ABBREVIATIONS
SYMBOLS LEGEND AND
CODE ANALYSIS
G101

GENERAL NOTES

1.
- DRAWING ACRONYM KEY AND GENERAL NOTES APPLY TO ALL HAZARDOUS MATERIAL SHEETS
2.
- CONTRACTOR SHALL PROTECT EXISTING STRUCTURE TO REMAIN. RESTORE TO ORIGINAL CONDITION ALL WORK DAMAGED OR OTHERWISE MADE DEFECTIVE IN APPEARANCE OR FUNCTION BY THE EXECUTION OF WORK REQUIRED BY THIS PROJECT.
3.
- REMOVE AND PROPERLY DISPOSE OF ALL MATERIALS AND MISCELLANEOUS DEBRIS RESULTING FROM PROJECT OPERATIONS ON THE PROJECT SITE. ALL REMOVED ITEMS AND MATERIALS SHALL BE MANIFESTED AND DISPOSED OF IN A LEGAL MANNER, COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS
4.
- THE CONTRACTOR SHALL PROVIDE RECEIPTS TO THE ENGINEER INDICATING THE FINAL DISPOSITION OF ALL MATERIALS. RECEIPTS FOR ALL MATERIALS TRANSPORTED OFF SITE TO A PERMITTED FACILITY FOR DISPOSAL, REMEDIATION, OR TESTING WILL BE TRANSMITTED BY THE CONTRACTOR TO THE ENGINEER WITHIN 24 HOURS OF DELIVERY TO THE PERMITTED FACILITY. ALL MATERIALS REQUIRING A CHAIN OF CUSTODY WILL REMAIN IN THE CUSTODY OF THE CONTRACTOR UNTIL FINAL DISPOSITION. THE DEPARTMENT IS OWNER OF ONLY THOSE ITEMS DESIGNATED TO REMAIN AND WILL NOT BE SIGNATORY TO A MANIFEST, CERTIFICATE OF FINAL DISPOSITION OR TRANSFER, OR CHAIN OF CUSTODY FOR ITEMS SCHEDULED FOR DEMOLITION OR REMOVAL.
5.
- BURNING AND USE OF EXPLOSIVES WILL NOT BE PERMITTED ON THE PROJECT.
6.
- CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES IN ACCORDANCE WITH THE SPECIFICATIONS.

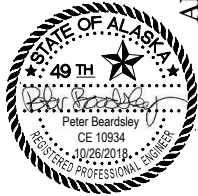
HAZMAT NOTES

1.
- HAZARDOUS MATERIALS SAMPLE LOCATIONS AND RESULTS ARE SHOWN IN THE FOLLOWING FIGURES AND DESCRIBED IN SECTION 02 26 00. THESE CONSTITUTE THE HAZARDOUS MATERIALS ASSESSMENT FOR THIS PROJECT.
2.
- FIELD OBSERVATIONS OF ROOF CORES CONFIRMED SUBSTANTIALLY SIMILAR MATERIALS AND CONSTRUCTION METHODS. ACM RESULTS SHOWN ON ONE ARE CONSIDERED REPRESENTATIVE OF THE SAME MATERIAL ON ALL PROJECT ROOF SECTIONS.
3.
- SAMPLE RESULTS PROVIDED DO NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM HIS OWN ASSESSMENT PRIOR TO DEMOLITION TO VERIFY AND QUANTIFY THE PRESENCE OF HAZARDOUS MATERIAL.
4.
- ALL DEMOLITION, OR ABATEMENT, OR DISPOSAL OF ACM SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE REGULATIONS.
5.
- THE CONTRACTOR SHALL SUBMIT A WORK PLAN TO THE ENGINEER THAT DESCRIBES THE METHODS AND MEANS THAT WILL BE USED TO ABATE AND DISPOSE OF HAZARDOUS MATERIALS. THIS HAZARDOUS MATERIALS WORK PLAN MAY BE A COMPONENT OF THE REQUIRED DEMOLITION WORK PLAN.
6.
- FRIABLE ACM AND NON-FRIABLE ACM THAT MAY BECOME FRIABLE DURING DEMOLITION WORK PRACTICES SHALL BE ABATED OR REMOVED AND DISPOSED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND THE SPECIFICATIONS PRIOR TO DEMOLITION.

ACRONYM KEY

ACM—ASBESTOS CONTAINING MATERIAL
CAB—CEMENT ASBESTOS BOARD
CMU—CEMENT MASONRY UNIT
LBP—LEAD BASED PAINT
NIC—NOT IN CONTRACT
PC—POINT COUNT
RACM—REGULATED ASBESTOS CONTAINING MATERIAL
RCRA—RESOURCE CONSERVATION AND RECOVERY ACT
TCLP—TOXICITY CHARACTERISTIC LEACHING PROCEDURE
TEM—TRANSMISSION ELECTRON MICROSCOPY
TSI—THERMAL SYSTEMS INSULATION
VAT—VINYL ASBESTOS TILE

PROJECT ABATEMENT AND DEMOLITION QUANTITIES			
ASBESTOS	ACM TYPE	Description	Project Area
	FRIABLE	NONE IDENTIFIED	-
	NON-FRIABLE CATEGORY I	SILVER COAT	16,500 ft²
	NON-FRIABLE CATEGORY II	NONE IDENTIFIED	-



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DEPARTMENT OF HEALTH AND SOCIAL SERVICES
1931 EAGAN AVENUE, FAIRBANKS, ALASKA 99701

CONSULTANT: NORTECH

NORTECH
SUSTAINABLE ENVIRONMENT
ENERGY, HEALTH & SAFETY
Fairbanks: 2400 College Road
907.452.5688
Anchorage: 3105 Lakeshore Drive
Juneau: 5438 Shaune Drive
Corporate No.: AECC682

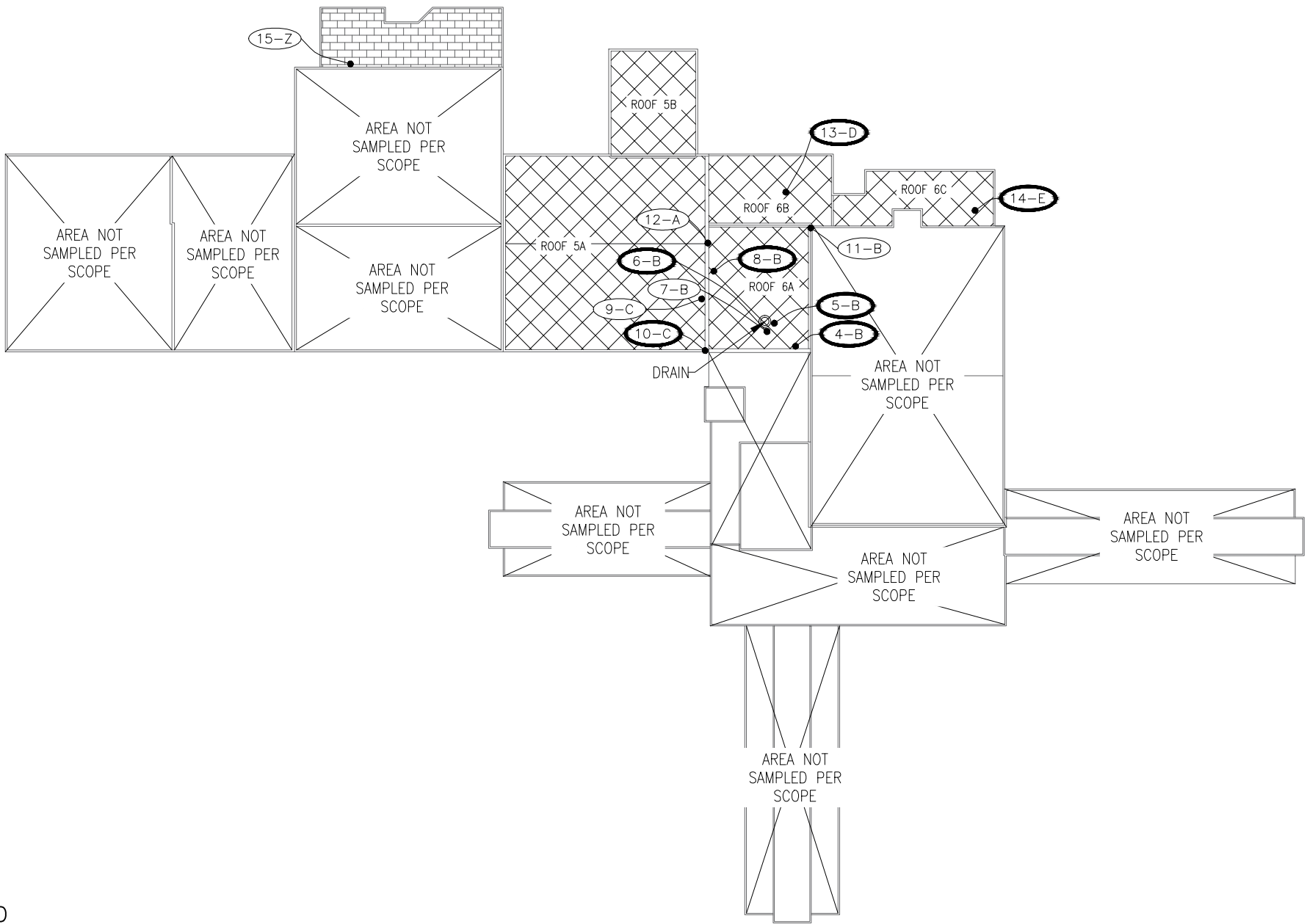
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DATE: 10/26/2018
DRAWN BY: SPH
CHECKED BY: DD

Symbol	Description	Date

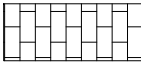
GENERAL NOTES
HAZMAT NOTES
ACRONYM KEY
SITE LAYOUT
H101

ARCHITECT: BETTISWORTH NORTH
2600 DENALI STREET SUITE 710 ANCHORAGE, ALASKA 99503 (907) 561-5780
212 FRONT STREET FAIRBANKS, ALASKA 99701 (907) 456-5780
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100% CONSTRUCTION DOCUMENTS



LEGEND



CEMENTITIOUS ROOF PANELS



ASBESTOS CONTAINING ROOFING MATERIAL

- 0123

ASBESTOS SAMPLE LOCATIONS
NEGATIVE (<1% ASBESTOS)
- 0123

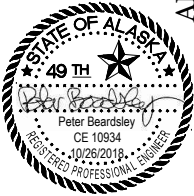
ASBESTOS SAMPLE LOCATIONS
POSITIVE (>= 1% ASBESTOS)
- SEE ASBESTOS TABULATED
RESULTS FOR ACM SAMPLE
NUMBER

SCALE: 1"=32'

NOTE: LEAD WAS NOT IDENTIFIED IN THE INSPECTED DRAIN IDENTIFIED ON THE DRAWING.

ROOF		
Asbestos Sample Results		
Sample ID	Description	Result
4-B	silver coat	3% Chrysotile
4-B	black asphalt	ND
4-B	tan fiberboard	ND
4-B	gray/black fabric backing	ND
4-B	white styrofoam	ND
5-B	silver coat	2% Chrysotile
5-B	black asphalt	ND
5-B	tan fiberboard	ND
5-B	black membrane	ND
5-B	white styrofoam	ND
6-B	silver coat	3% Chrysotile
6-B	black asphalt	ND
6-B	tan fiberboard	ND
6-B	black membrane	ND
6-B	gray/black paper	ND
6-B	white styrofoam	ND
7-B	tan paper	ND
7-B	clear adhesive	ND
7-B	black asphalt	ND
7-B	white styrofoam	ND
8-B	silver coat	2% Chrysotile
8-B	black asphalt	ND
8-B	tan fiberboard	ND
8-B	black membrane	ND
8-B	gray/black paper	ND
8-B	white styrofoam	ND
9-C	black asphalt	ND
9-C	clear adhesive	ND
10-C	gray/black asphalt	ND
10-C	silver coat	3% Chrysotile
11-B	gray/tan/black watershed	ND
11-B	black asphalt	ND
12-A	white caulking	ND
13-D	silver coat	4% Chrysotile
13-D	black asphalt	ND
13-D	tan fiberboard	ND
13-D	black membrane	ND
14-E	silver coat	5% Chrysotile
14-E	black asphalt	ND
14-E	tan fiberboard	ND
14-E	black membrane	ND
15-Z	tan/white/red membrane	ND
15-Z	black asphalt	ND
15-Z	tan fiberboard	ND

NOTE: SAMPLES 6-B AND 7-B WERE TAKEN FROM THE SAME CORE SAMPLE. 6-B IS THE TOP MOST LAYERS AND 7-B IS THE BOTTOM MOST LAYERS OF THE SAMPLE.



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CONSULTANT: NORTECH

NORTECH

SUSTAINABLE ENVIRONMENT
ENERGY, HEALTH & SAFETY
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907.452.5688
Anchorage: 3105 Lakeshore Drive
Juneau: 5438 Shaune Drive
Corporate No.: AECC682

PROJECT NO: 18-2203
DATE: 10/26/2018
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Symbol	Description	Date

ASBESTOS SAMPLE
LOCATIONS AND
RESULTS

H102

ARCHITECT: BETTISWORTH NORTH

100% CONSTRUCTION DOCUMENTS

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LOOKING NORTH AT ROOF SECTION 5B



LOOKING SOUTH-WEST AT ROOF SECTION 5A
WITH SLOPED FABRIC BARRIER IN FOREFRONT
CONNECTING TO ROOF SECTION 5B



LOOKING SOUTH, TOWARDS STAIR
ACCESS, AT ROOF SECTION 6A



PATCH AROUND VENTING ON ROOF SECTION
6B IDENTICAL TO REST OF ROOF



LOOKING EAST AT ROOF SECTION 6C



PATCHING FOUND ADJACENT TO ROOF
PARAPETS ON TOP OF TYPICAL ROOF



LAYERS OF ACM SAMPLE 6-B. TYPICAL OF
ROOF



ASPHALT SHINGLE PATCH AROUND VENT ON
ROOF SECTION 6C. PATCH OVERLAID ON TOP
OF TYPICAL ROOF



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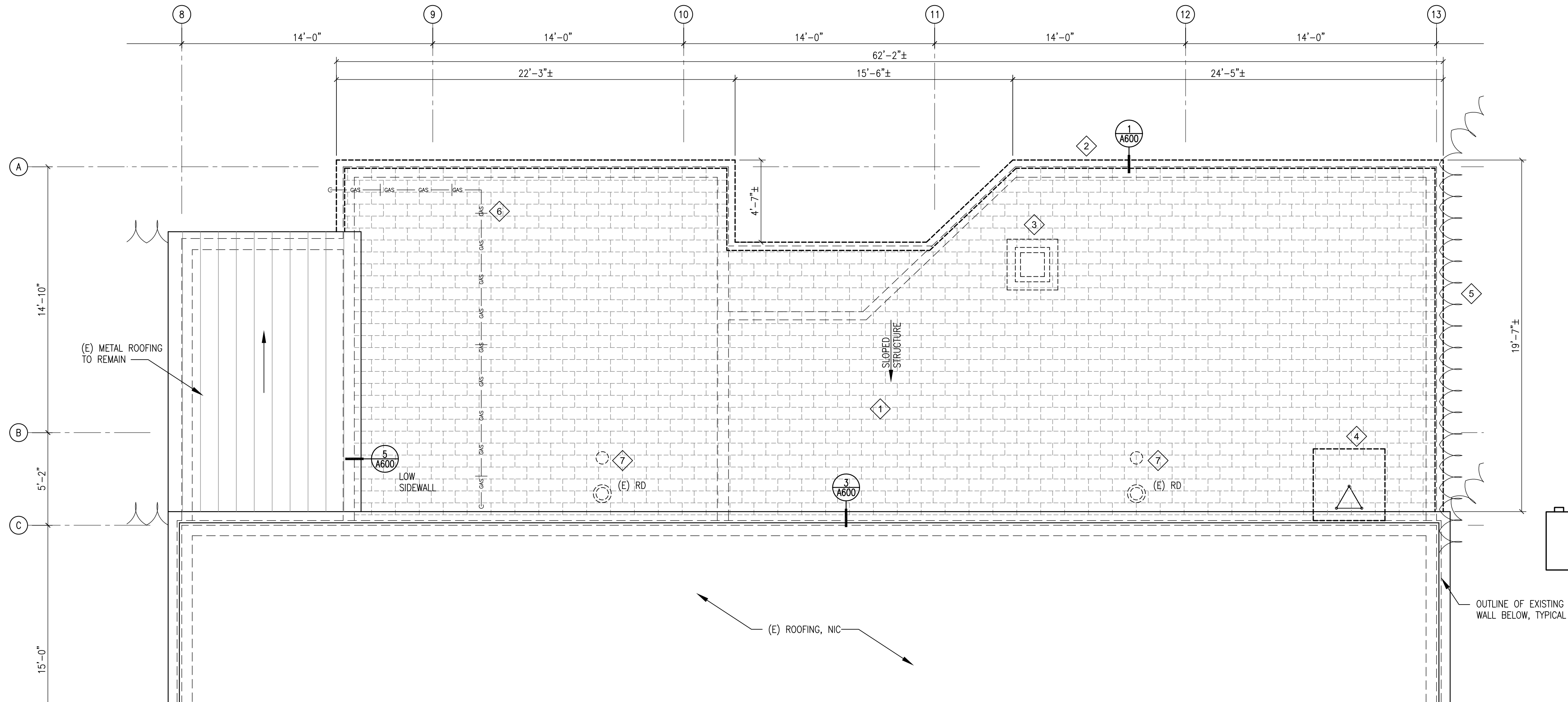
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Symbol	Description	Date

SITE PHOTOS

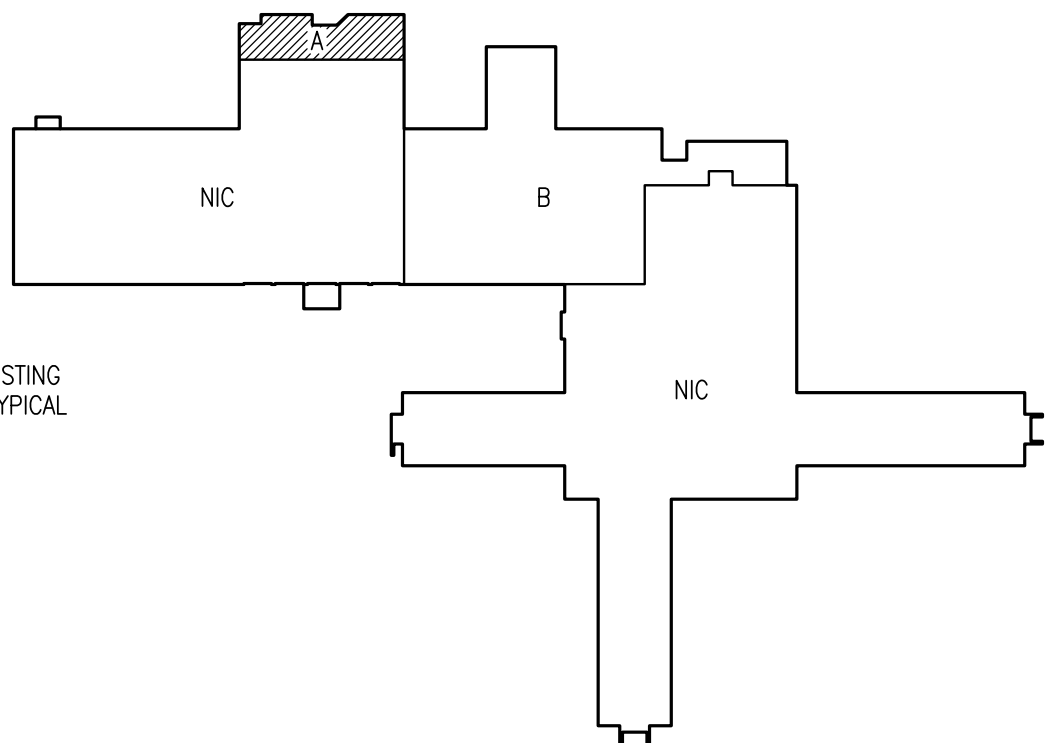
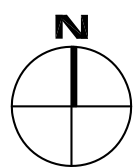
H103



1
AD100

PARTIAL ROOF DEMO PLAN - AREA 'A'

SCALE: 1/4" = 1'-0"



KEY PLAN

SCALE: N.T.S.

DEMOLITION PLAN NOTES:

- 1 DEMOLISH LOW SLOPED ROOF ASSEMBLY (IRMA) PER DETAIL 1/A600.
- 2 DEMOLISH ALL EXISTING PARAPET COPING FLASHING WHERE NEW WORK OCCURS.
- 3 REMOVE AND STORE FOR REINSTALLATION OF RELIEF AIR HOOD
- 4 DEMOLISH PLYWOOD BASE UNDER RADIO TOWER. SUPPORT RADIO TOWER WHILE REPLACEMENT WORK OCCURS.
- 5 DETACH CONCERTINA WIRE FROM PARAPET AS NECESSARY FOR ROOF REPLACEMENT.
- 6 EXISTING GAS LINE TO REMAIN. REMOVE SUPPORTS AS NECESSARY FOR NEW WORK AND REINSTALL ONCE WORK IS COMPLETE.
- 7 CORE DRILL CONCRETE ROOF DECK FOR NEW OVERFLOW ROOF DRAINS, SEE MECHANICAL.
- 8

GENERAL DEMOLITION LEGEND:

- ITEMS OR PORTIONS THERE OF TO BE DEMOLISHED
- _____ ITEMS TO REMAIN
- (E) ROOF DRAINS TO BE DEMOLISHED AND REPLACED WITH NEW JR. SMITH MODEL #2005 OF SIMILAR SIZE WITH CAST IRON DOME STRAINER
- CONCRETE PAVERS AND ROOF ASSEMBLY TO BE DEMOLISHED

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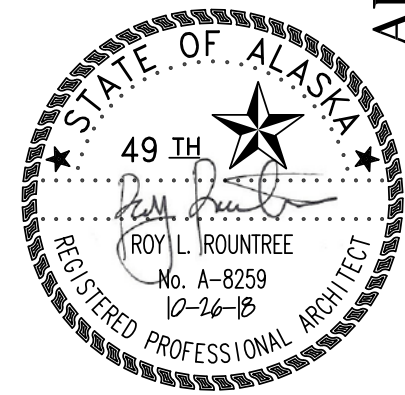
CONSULTANT:

PROJECT NO: 18-155
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Symbol	Description	Date

PARTIAL ROOF DEMO
PLAN - AREA 'A'

AD100



ARCHITECT: BETTISWORTH NORTH

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212 FRONT STREET FAIRBANKS, ALASKA 99701 (907) 456-5780
CORPORATE No. AECC219 WWW.BETTISWORTHNORTH.COM

DEMOLITION PLAN NOTES:

- 1

DEMOLISH LOW SLOPED ROOF ASSEMBLY (IRMA) PER DETAIL 1/A601.
- 2

DEMOLISH ALL EXISTING PARAPET COPING FLASHING WHERE NEW WORK OCCURS.
- 3

REMOVE AND STORE FOR REINSTALLATION OF RELIEF AIR HOOD.
- 4

REMOVE AND STORE FOR REINSTALLATION OF EXHAUST AIR HOOD.
- 5

DETACH CONCERTINA WIRE FROM PARAPET AS NECESSARY FOR ROOF REPLACEMENT.
- 6

EXISTING GAS LINE TO REMAIN. REMOVE SUPPORTS AS NECESSARY FOR NEW WORK AND REINSTALL ONCE WORK IS COMPLETE.
- 7

REMOVE AND STORE FOR REINSTALLATION OF EXHAUST DUCT GOOSE-NECK.
- 8

DEMOLISH EXISTING ROOF ASSEMBLY VENTS.

9

DEMOLISH EXISTING CURB AT MECHANICAL DUCT

10

DEMOLISH EXISTING SCUPPER AND PATCH STUCCO FINISH WHERE EXTERIOR FINISH IS LEFT EXPOSED AFTER ROOF REPLACEMENT.

11

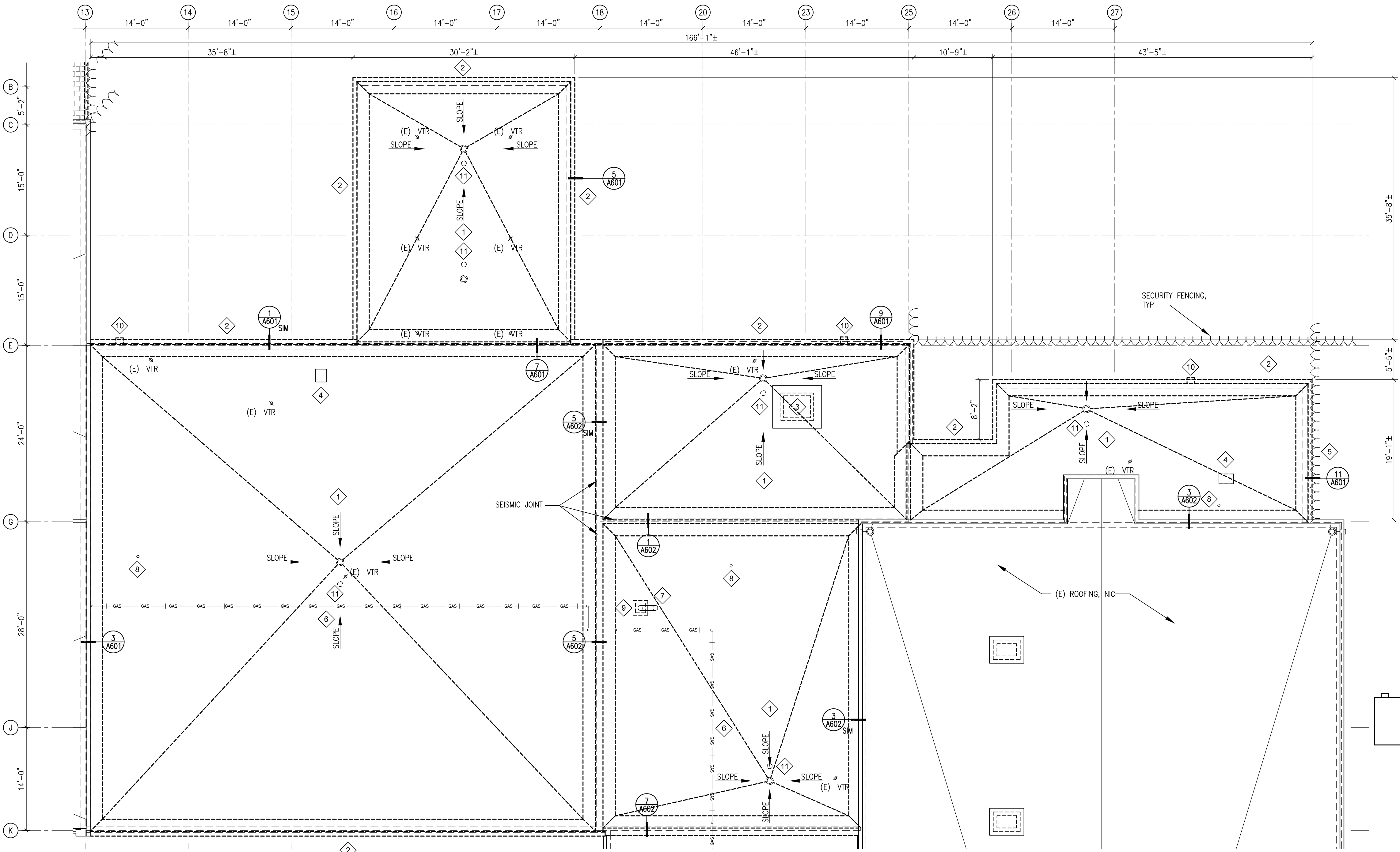
CORE DRILL CONCRETE ROOF DECK FOR NEW OVERFLOW ROOF DRAINS, SEE MECHANICAL.

GENERAL DEMOLITION LEGEND:

- ITEMS OR PORTIONS THERE OF TO BE DEMOLISHED
- ITEMS TO REMAIN
- 

(E) ROOF DRAINS TO BE DEMOLISHED AND REPLACED WITH NEW JR SMITH MODEL #2005 OF SIMILAR SIZE WITH CAST IRON DOME STRAINER
- 

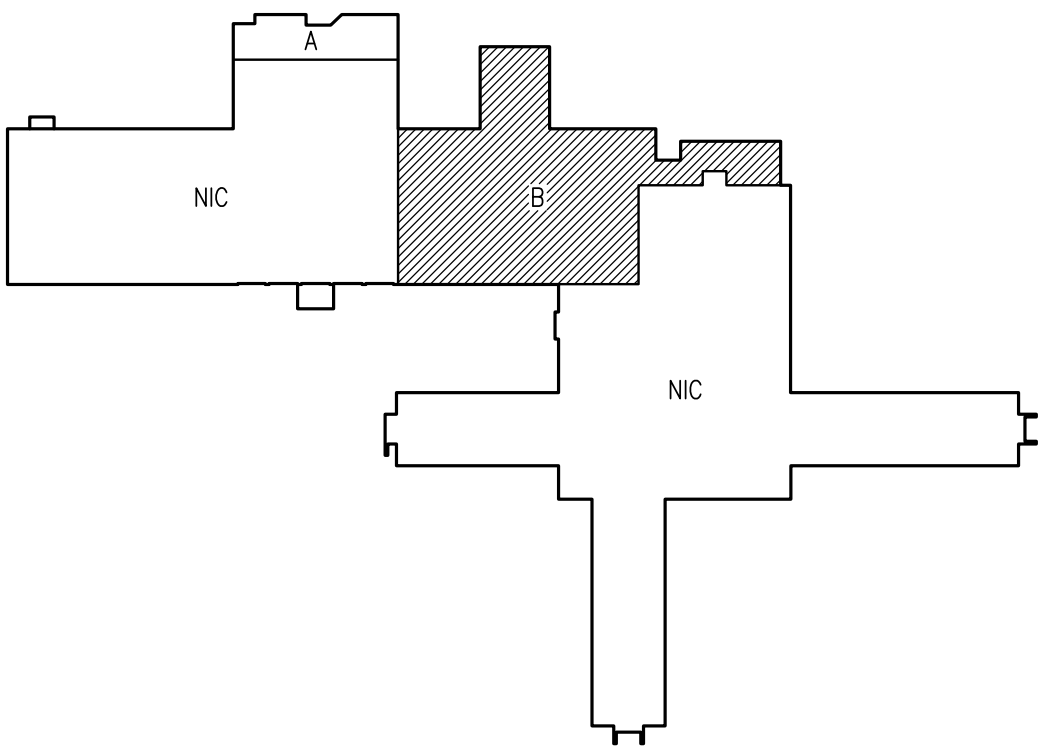
BUR ROOF ASSEMBLY TO BE DEMOLISHED



1
AD101

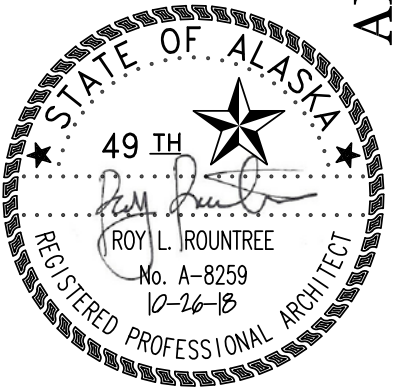
PARTIAL ROOF DEMO PLAN - AREA 'B'

SCALE: 1/8" = 1'-0"



KEY PLAN

SCALE: N.T.S.



**FAIRBANKS CORRECTIONAL CENTER -
EPDM ROOF REPLACEMENT**

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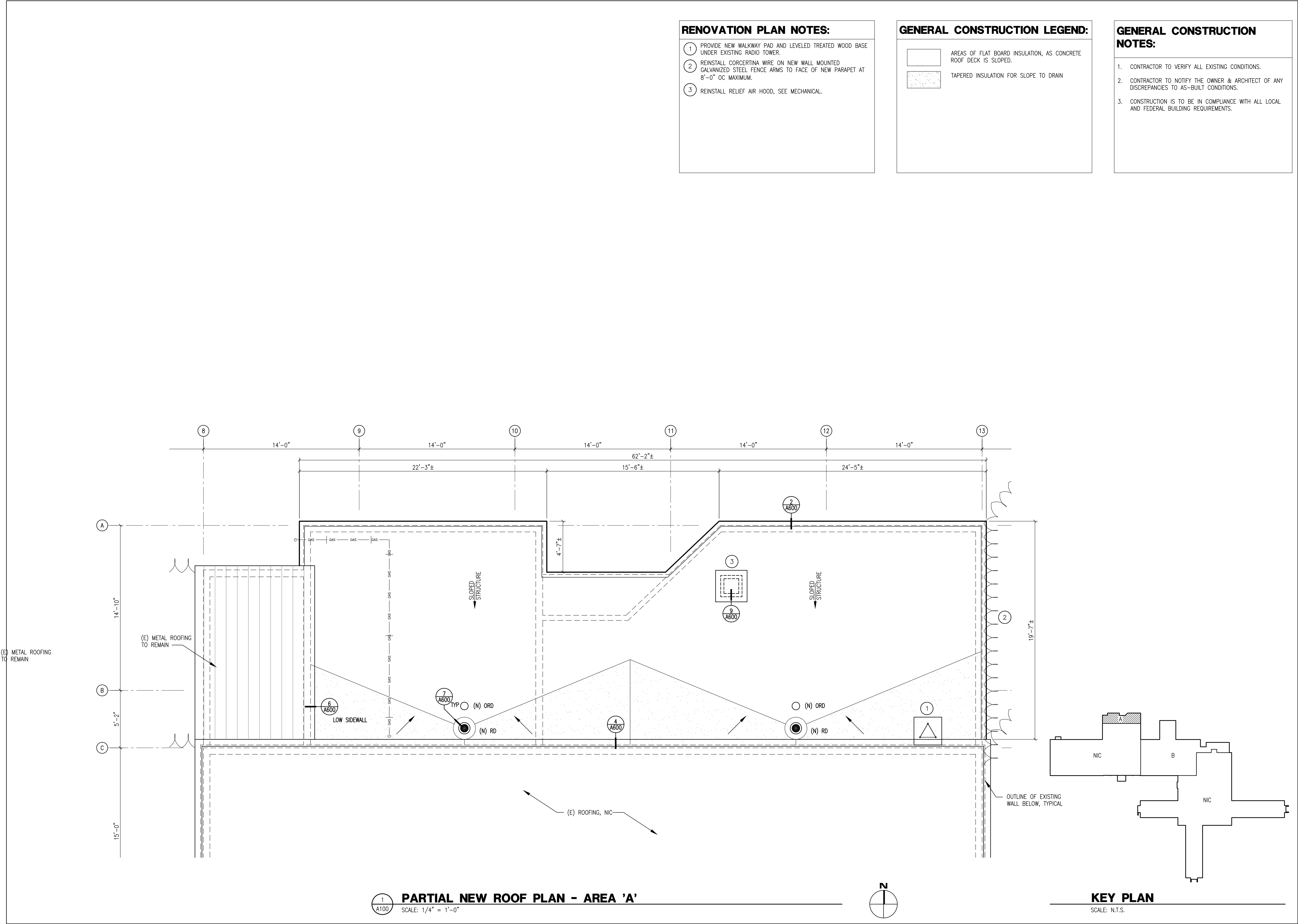
PARTIAL ROOF DEMO
PLAN - AREA 'B'

AD101

ARCHITECT: BETTISWORTH NORTH

2600 DENALI STREET SUITE 710 ANCHORAGE, ALASKA 99503 (907) 561-5780
212 FRONT STREET FAIRBANKS, ALASKA 99701 (907) 456-5780
CORPORATE NO. ABCC219 WWW.BETTISWORTHNORTH.COM

100% CONSTRUCTION DOCUMENTS



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RENOVATION PLAN NOTES:

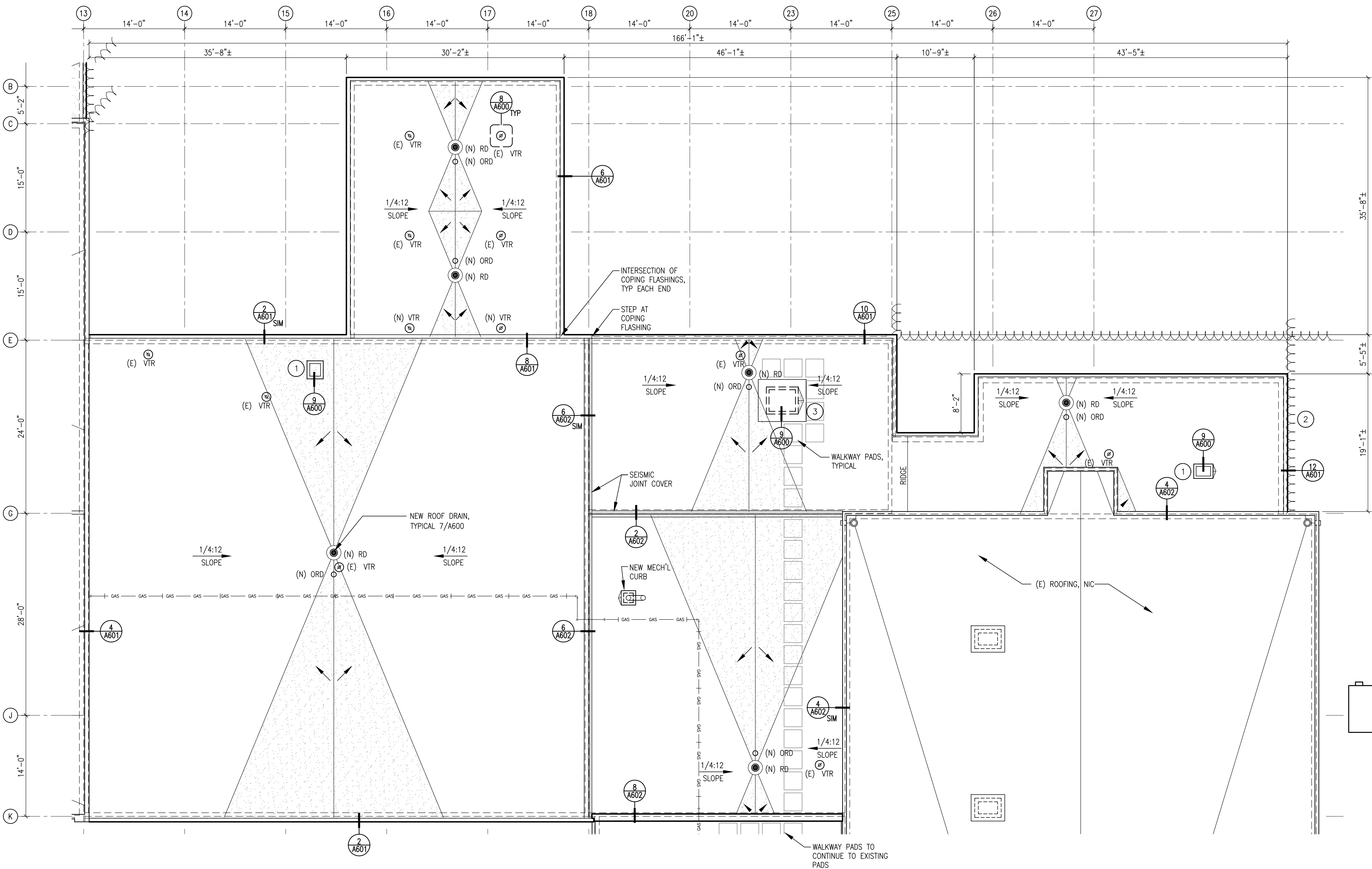
- 1 REINSTALL EXHAUST AIR HOOD, SEE MECHANICAL.
- 2 REINSTALL CONCERTINA WIRE ON NEW WALL MOUNTED GALVANIZED STEEL FENCE ARMS TO FACE OF NEW PARAPET AT 8'-0" O.C. MAXIMUM.
- 3 REINSTALL RELIEF AIR HOOD, SEE MECHANICAL.

GENERAL CONSTRUCTION LEGEND:

- AREAS OF TAPERED INSULATION BOARD, AS CONCRETE ROOF DECK IS FLAT.
- TAPERED INSULATION FOR CRICKETS, SLOPE TO DRAIN

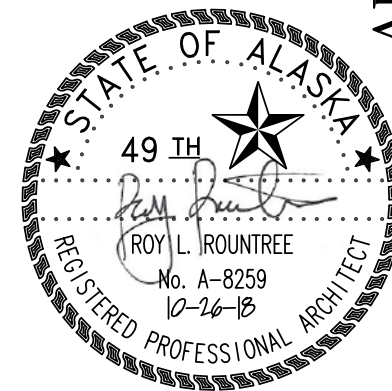
GENERAL CONSTRUCTION NOTES:

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
2. CONTRACTOR TO NOTIFY THE OWNER & ARCHITECT OF ANY DISCREPANCIES TO AS-BUILT CONDITIONS.
3. CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL LOCAL AND FEDERAL BUILDING REQUIREMENTS.



1 PARTIAL NEW ROOF PLAN - AREA 'B'
A101 SCALE: 1/8" = 1'-0"

KEY PLAN
SCALE: N.T.S.



FAIRBANKS CORRECTIONAL CENTER -
EPDM ROOF REPLACEMENT
(DOT&PF PROJ NO. 2501000046)
1931 EAGAN AVENUE, FAIRBANKS, ALASKA 99701-

CONSULTANT:

PROJECT NO: 18-155
DATE: 10/26/2018
DRAWN BY: JLL
CHECKED BY: RR

Symbol	Description	Date

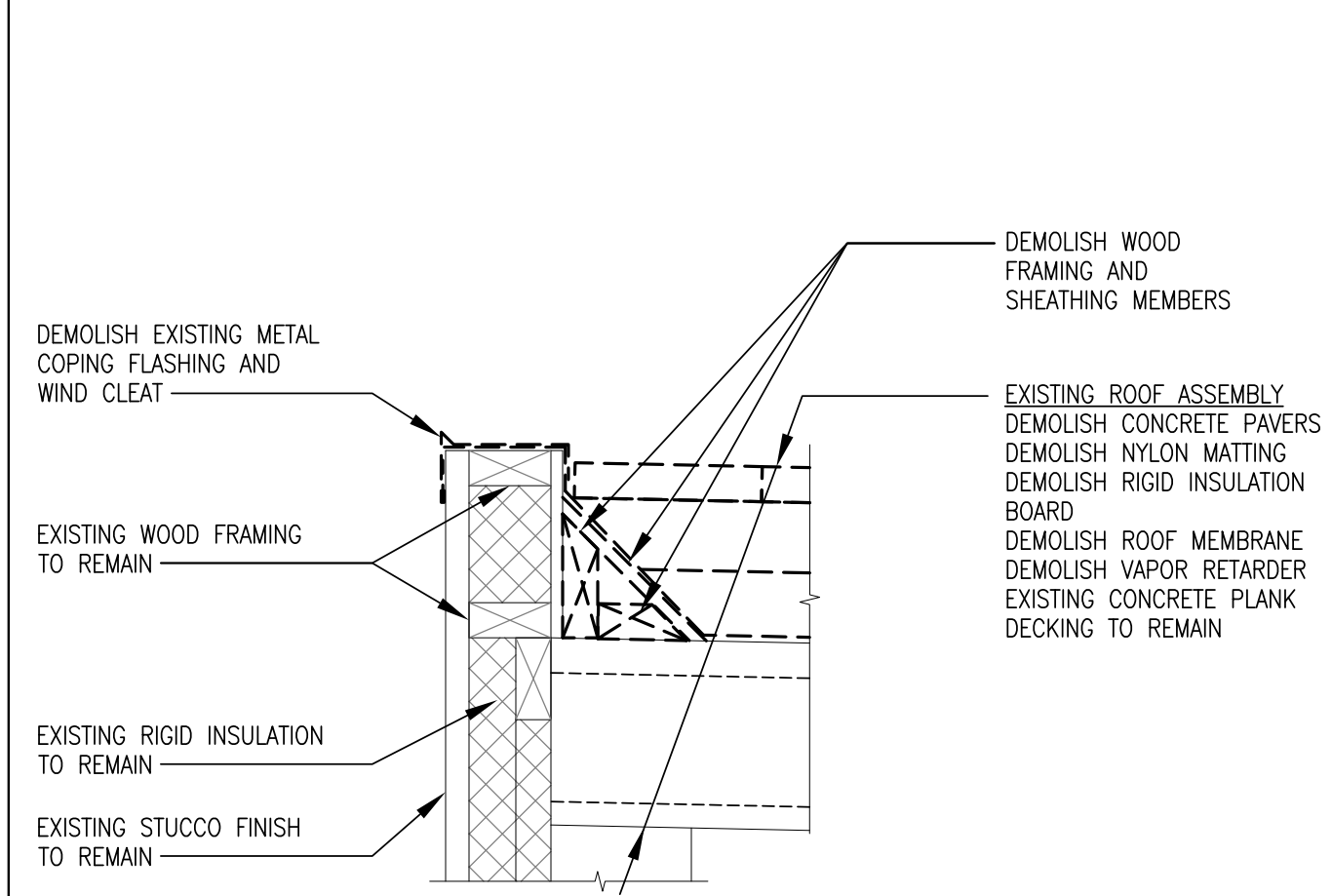
PARTIAL NEW ROOF
PLAN - AREA 'B'

A101

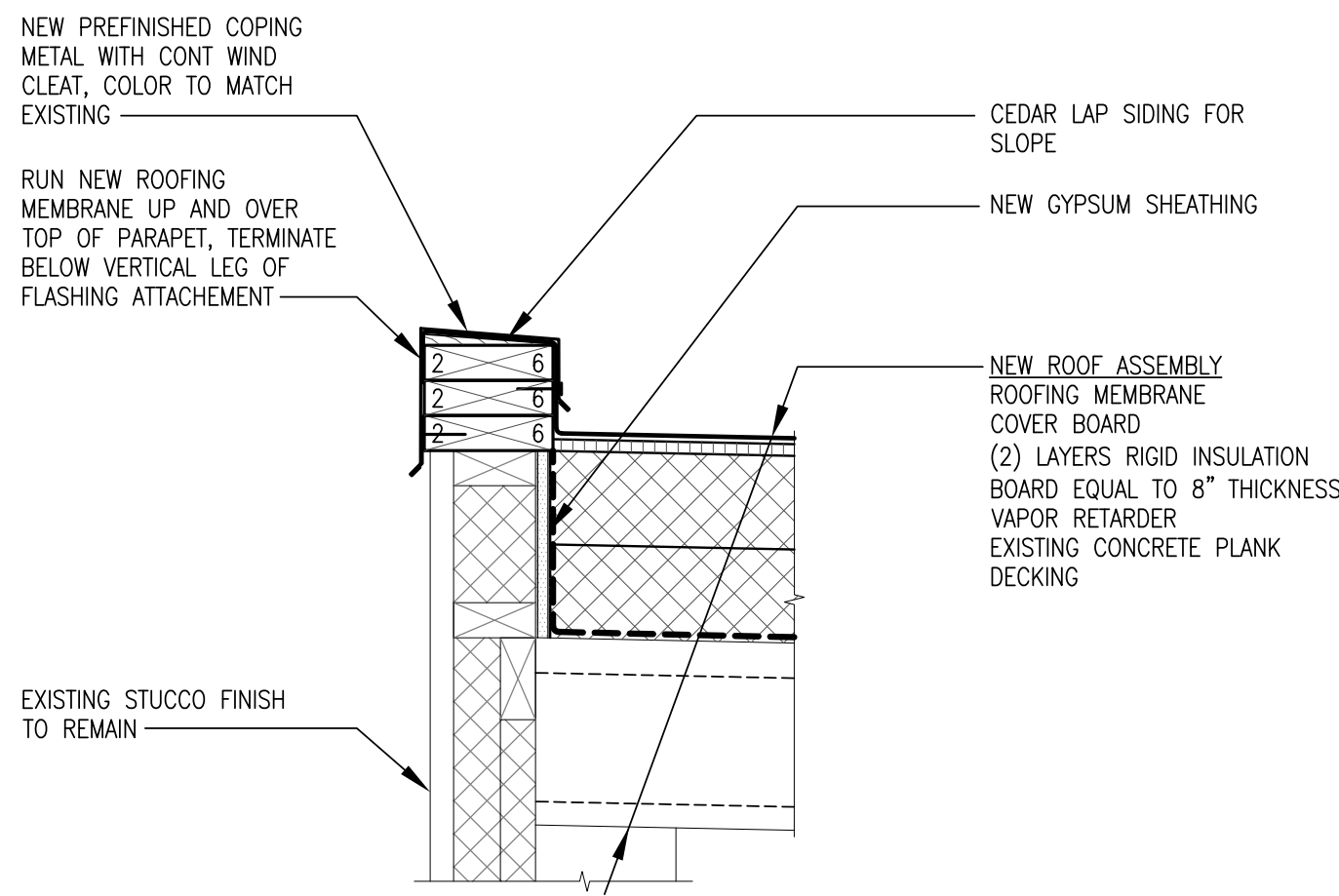
ARCHITECT: BETTISWORTH NORTH

2600 DENALI STREET SUITE 710 ANCHORAGE, ALASKA 99503 (907) 561-5780
212 FRONT STREET FAIRBANKS, ALASKA 99701 (907) 456-5780
CORPORATE NO. ABCC219 WWW.BETTISWORTHNORTH.COM

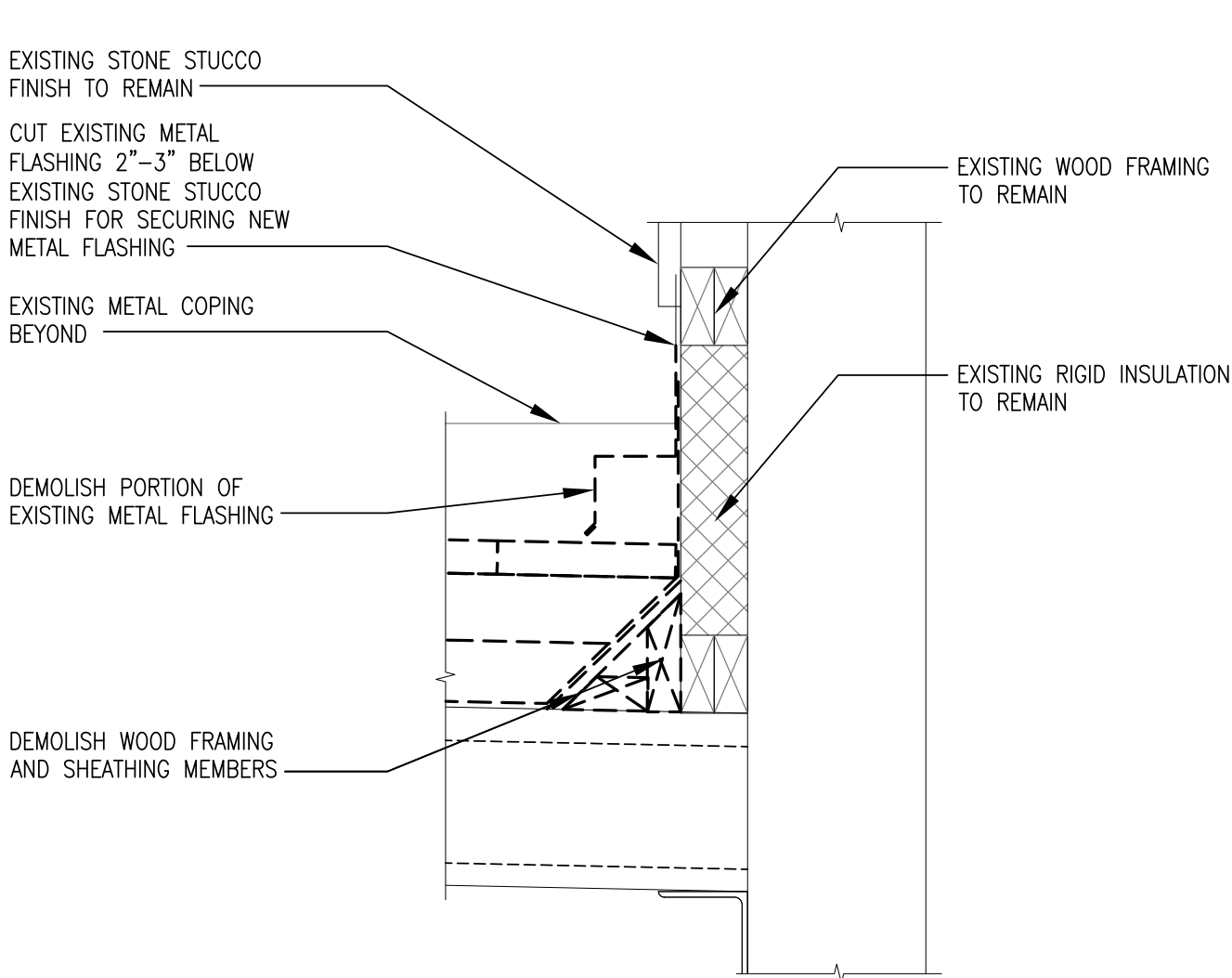
100% CONSTRUCTION DOCUMENTS



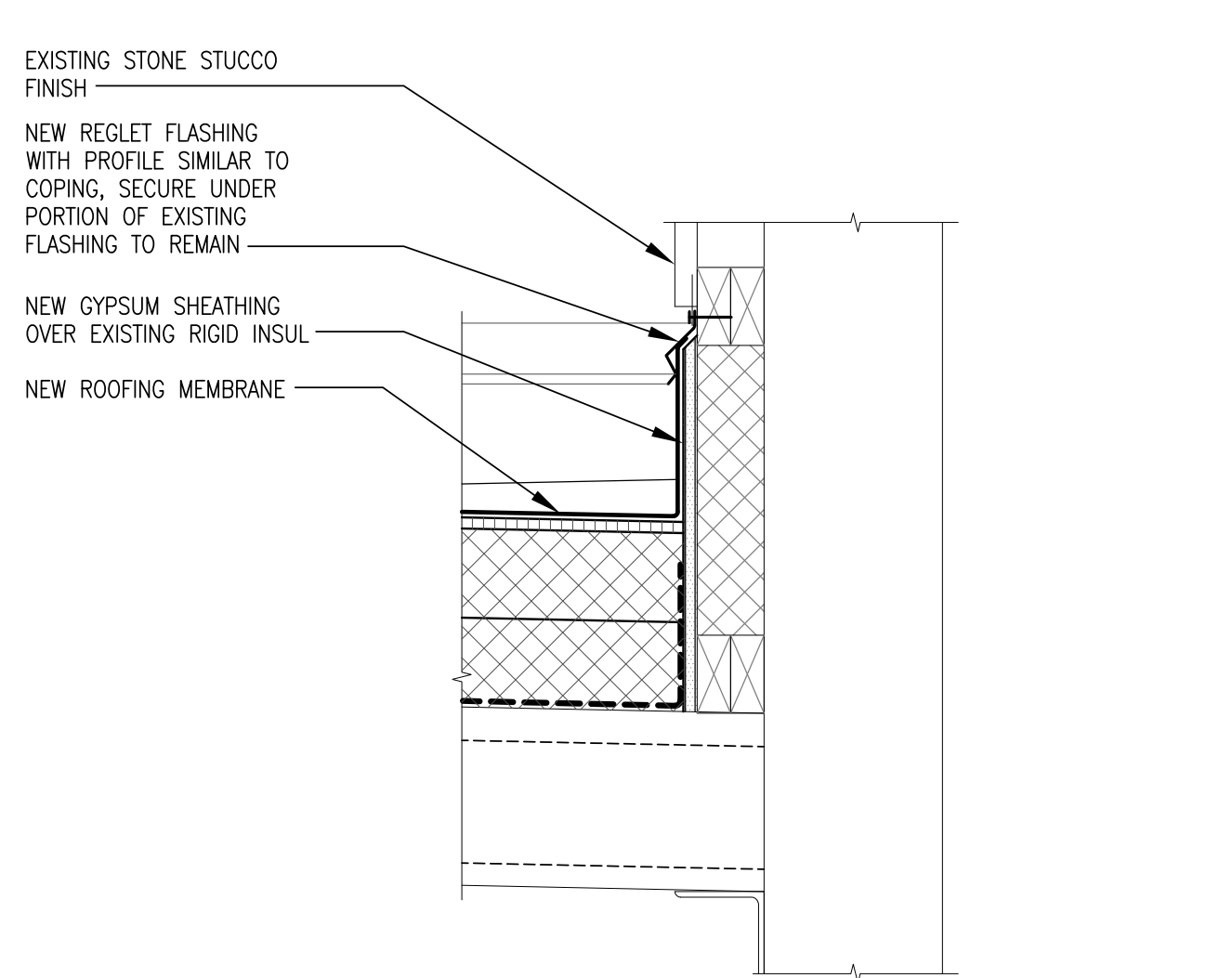
1
A600
EXISTING PARAPET - AREA 'A'
SCALE: 1 1/2" = 1'-0"



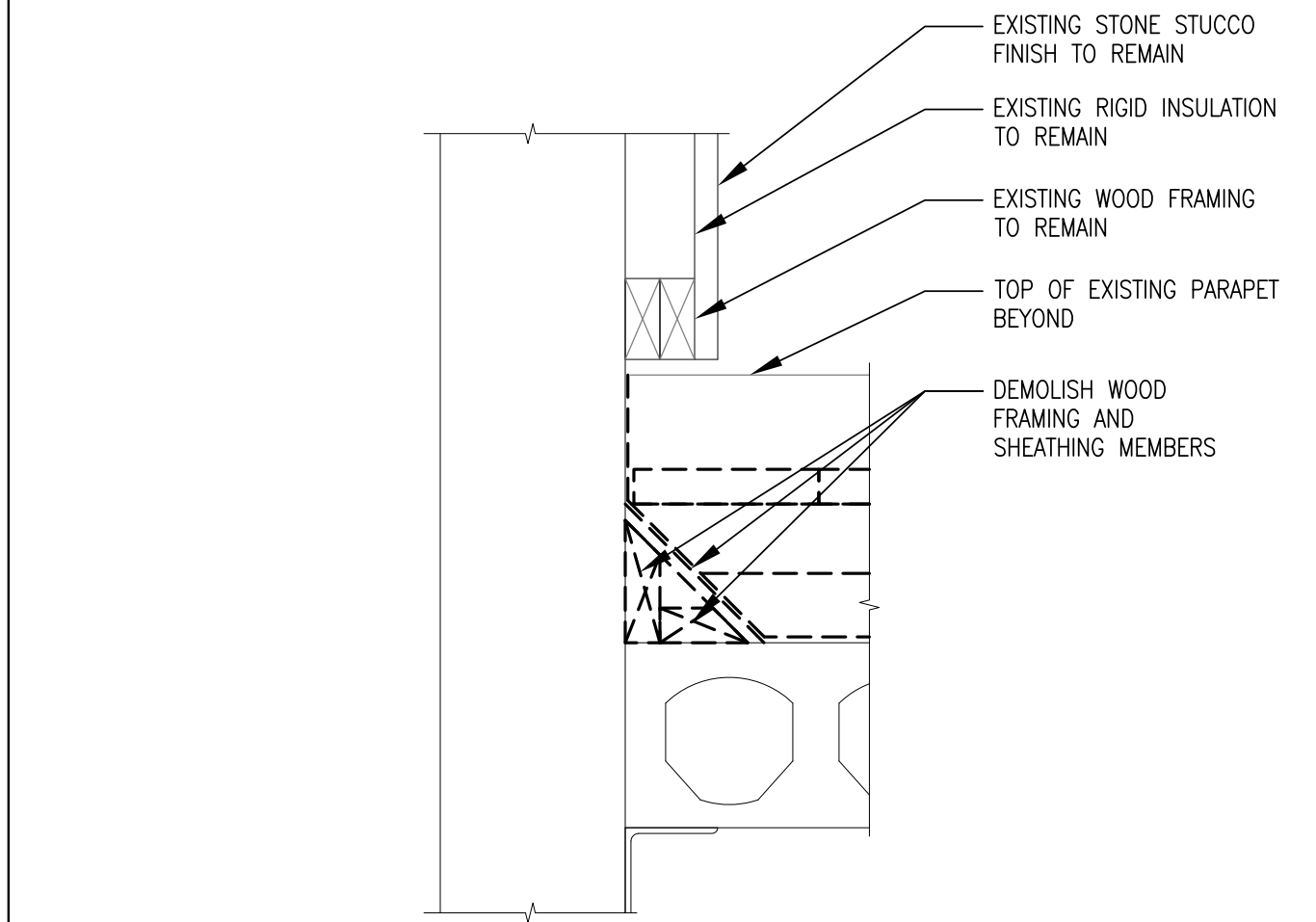
2
A600
NEW PARAPET - AREA 'A'
SCALE: 1 1/2" = 1'-0"



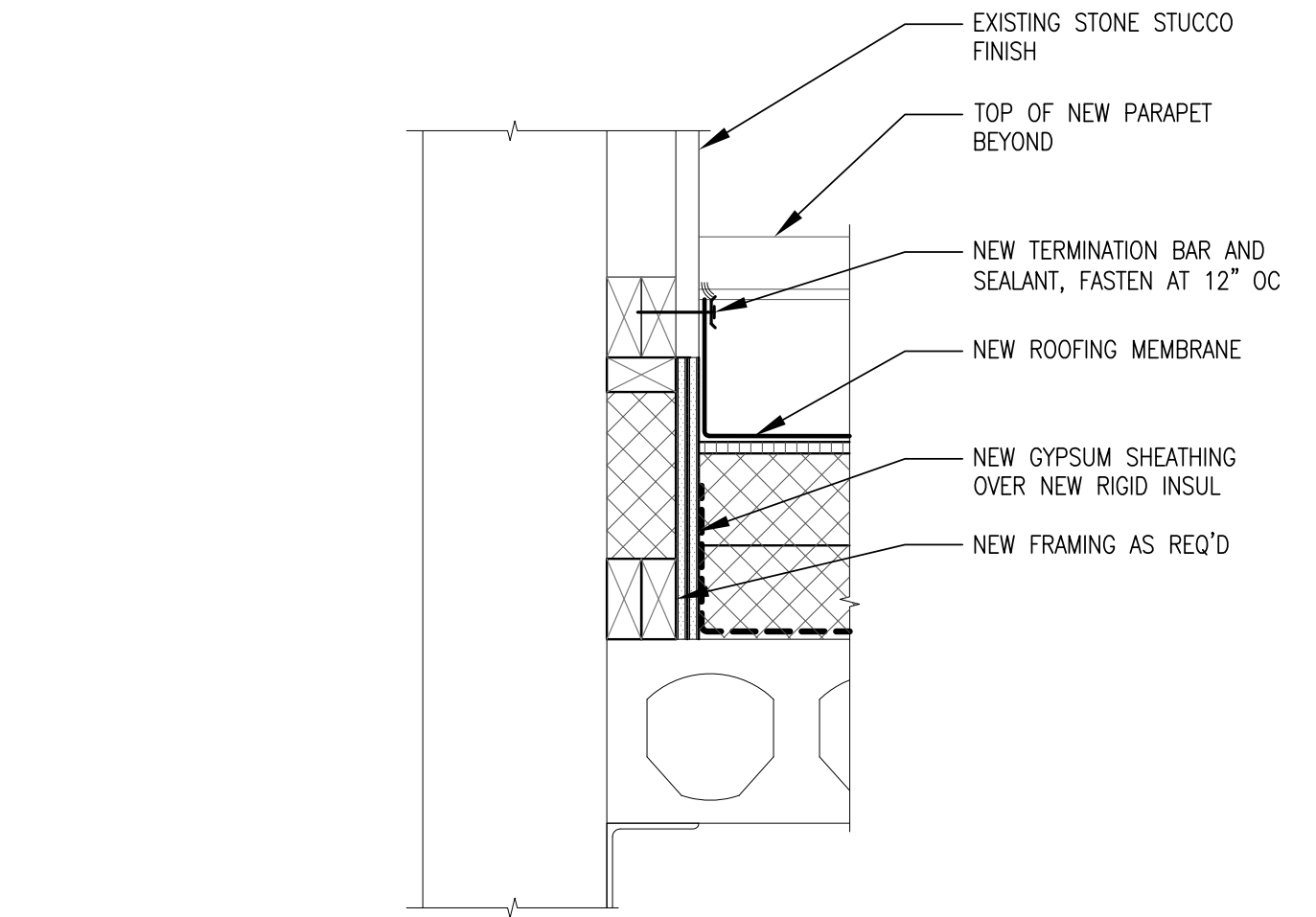
3
A600
EXISTING HEADWALL - AREA 'A'
SCALE: 1 1/2" = 1'-0"



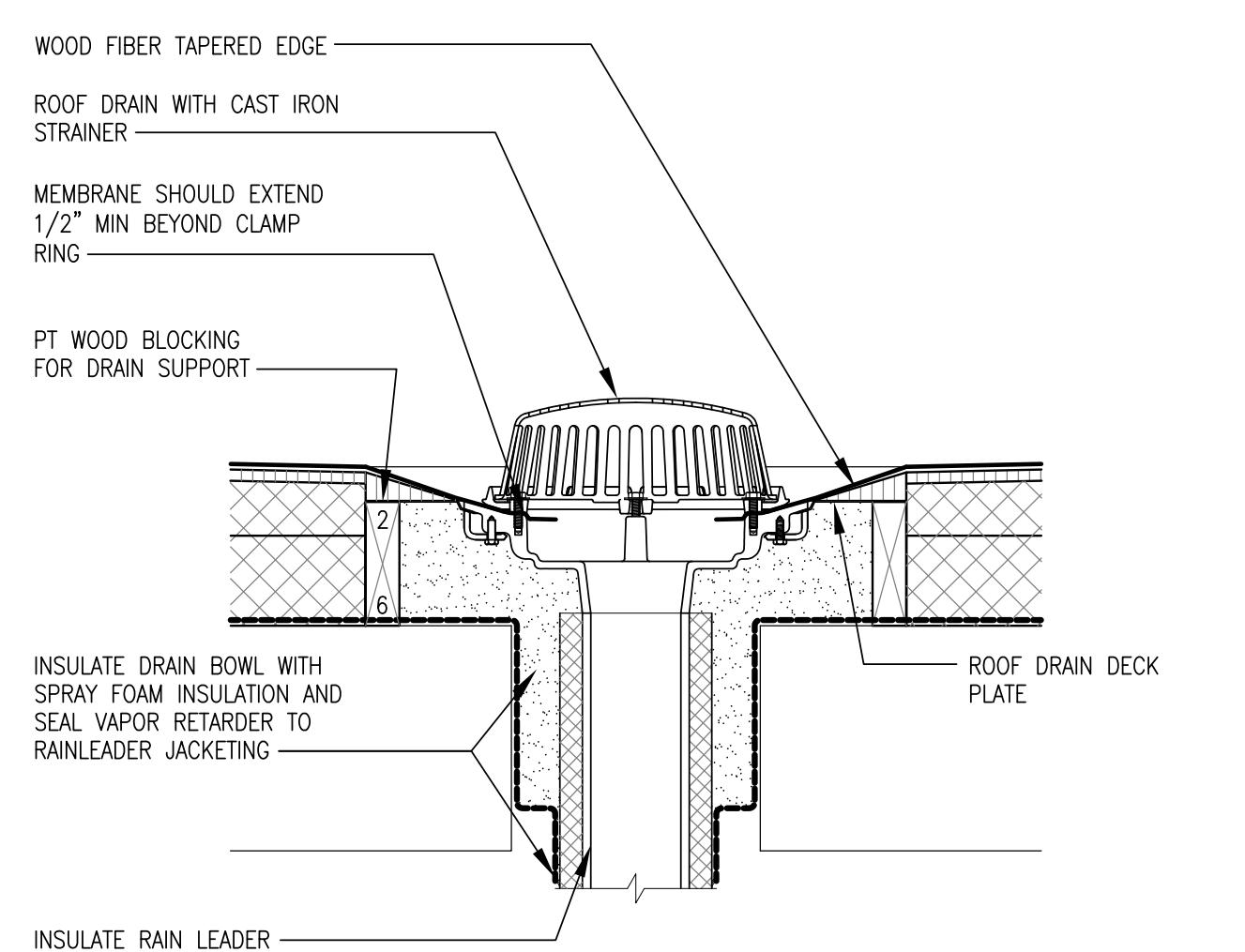
4
A600
NEW HEADWALL - AREA 'A'
SCALE: 1 1/2" = 1'-0"



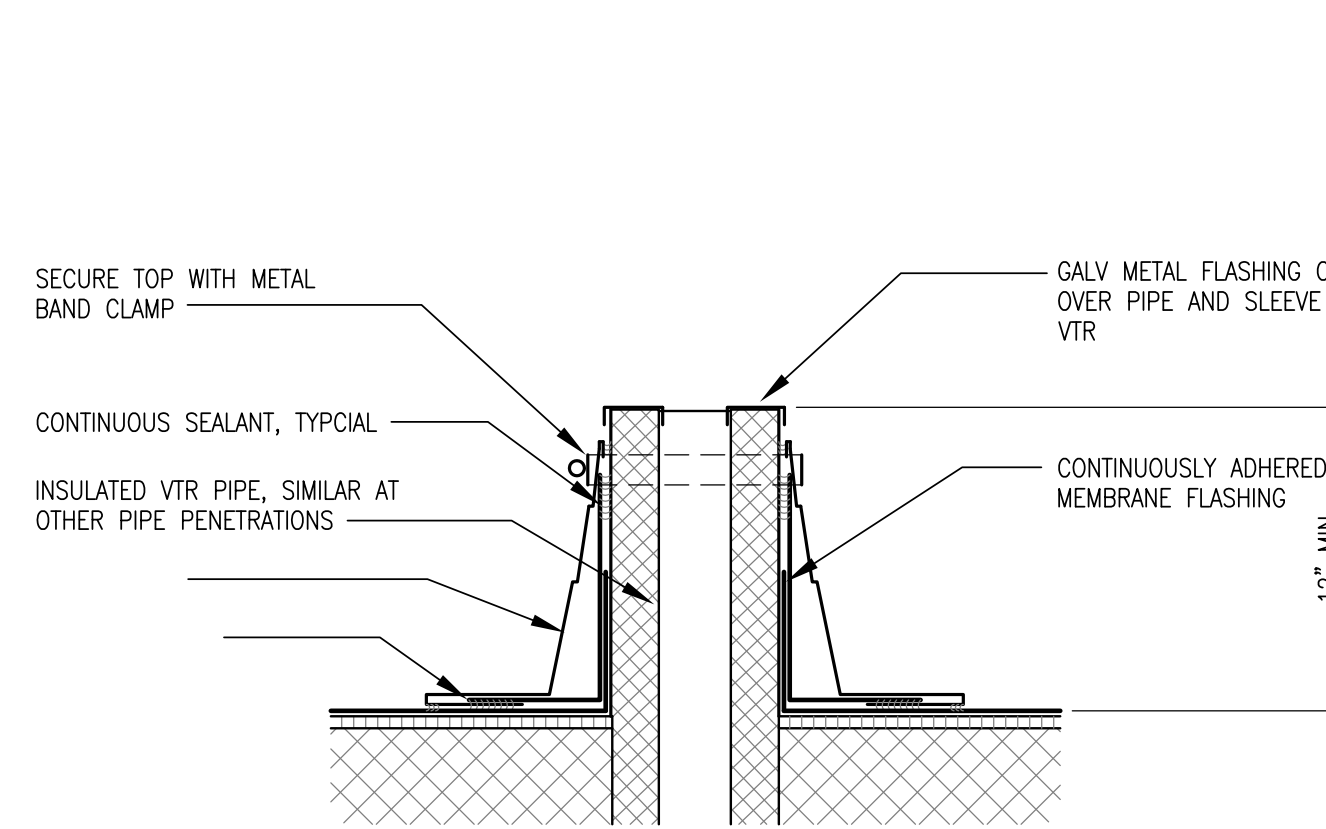
5
A600
EXISTING SIDEWALL - AREA 'A'
SCALE: 1 1/2" = 1'-0"



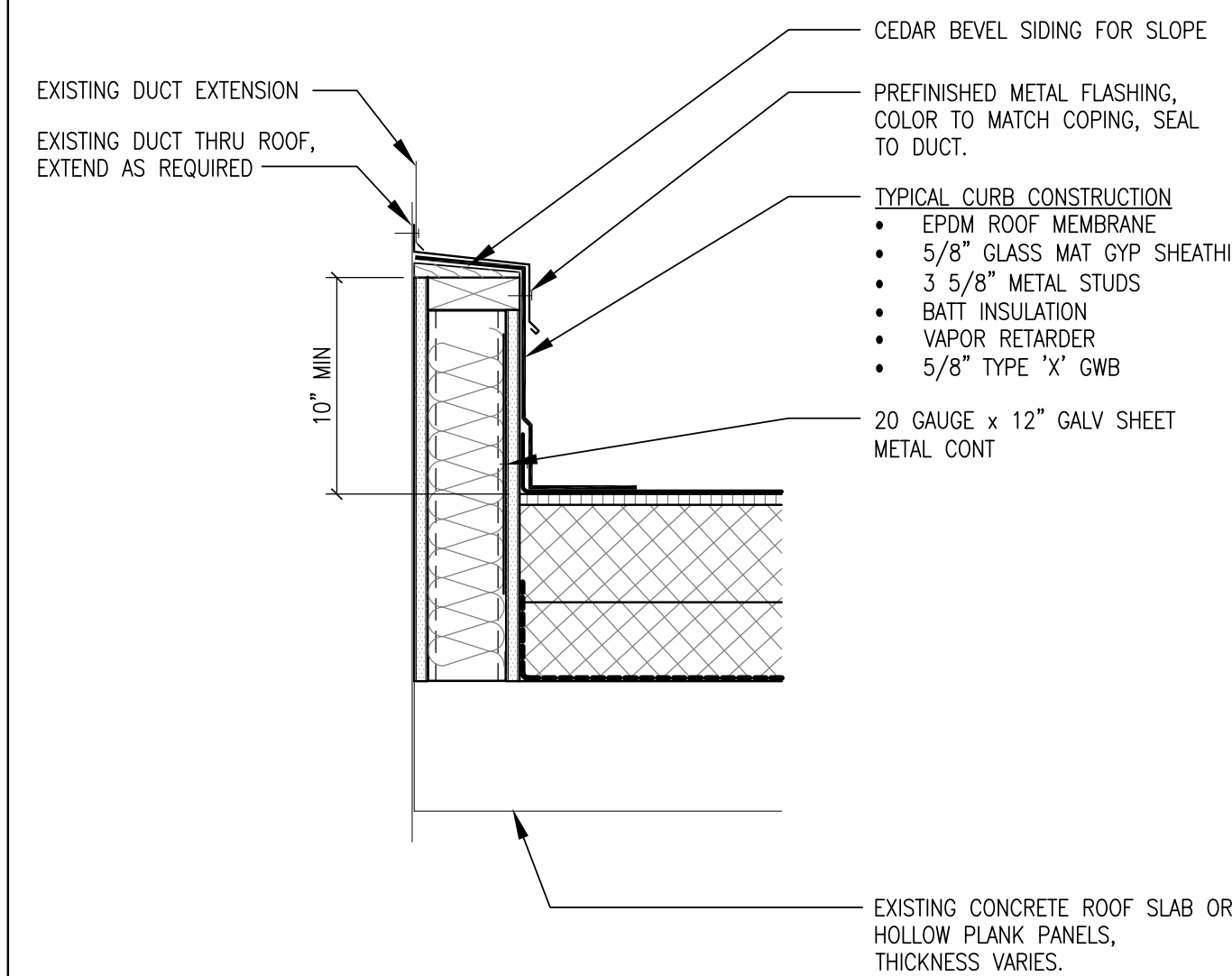
6
A600
NEW SIDEWALL - AREA 'A'
SCALE: 1 1/2" = 1'-0"



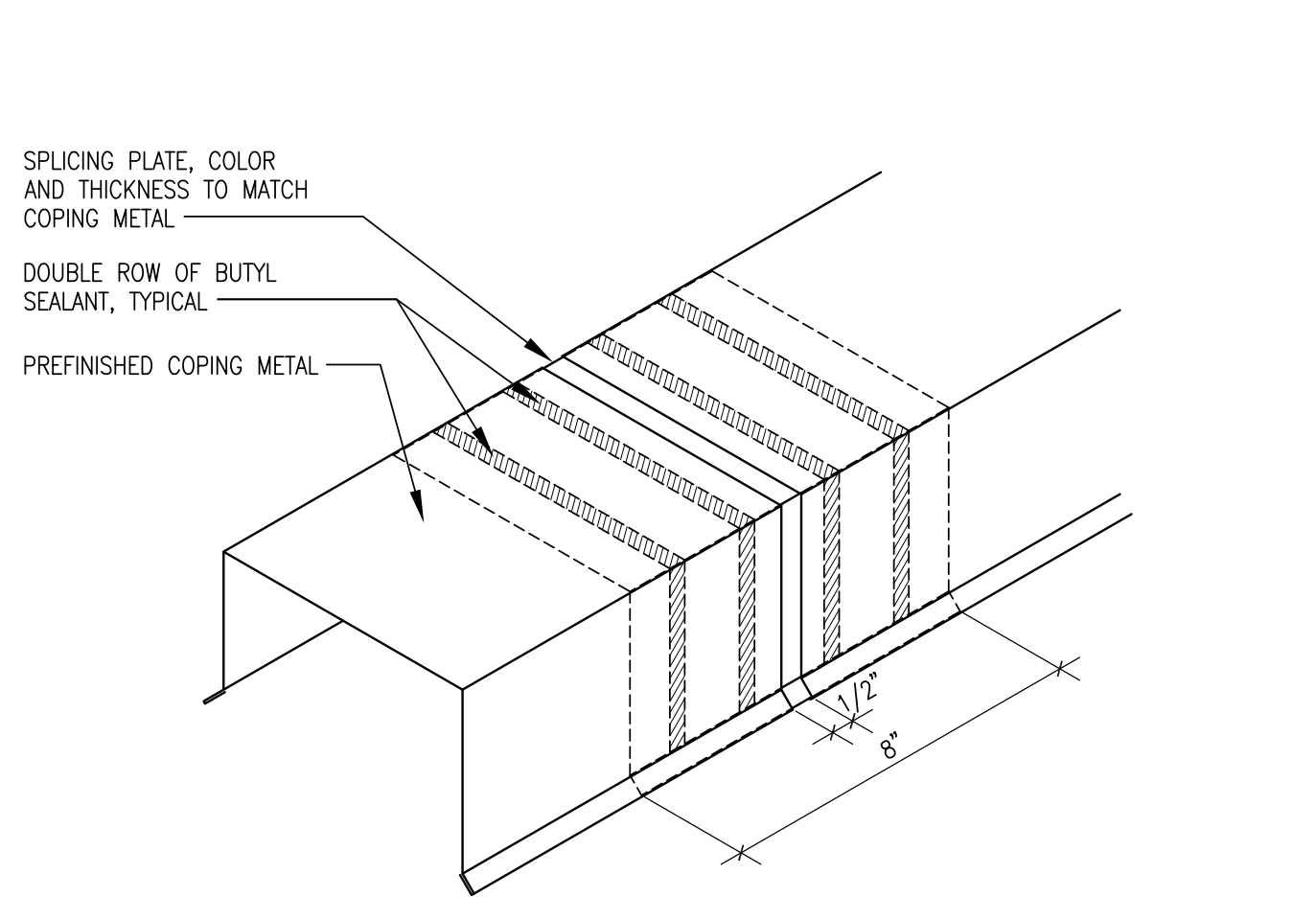
7
A600
TYPICAL ROOF DRAIN DETAIL
SCALE: 1 1/2" = 1'-0"



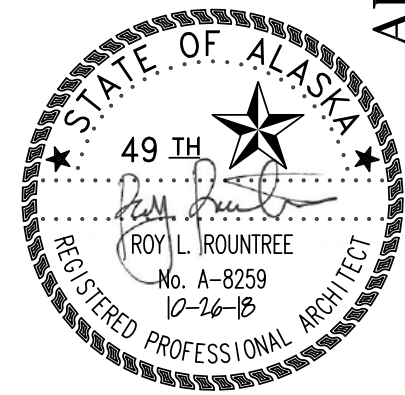
8
A600
TYPICAL VTR DETAIL
SCALE: 1 1/2" = 1'-0"



9
A600
TYPICAL MECH'L CURB DETAIL
SCALE: 1 1/2" = 1'-0"



10
A600
TYP COPING SPLICE EXPANSION DETAIL
SCALE: 1 1/2" = 1'-0"



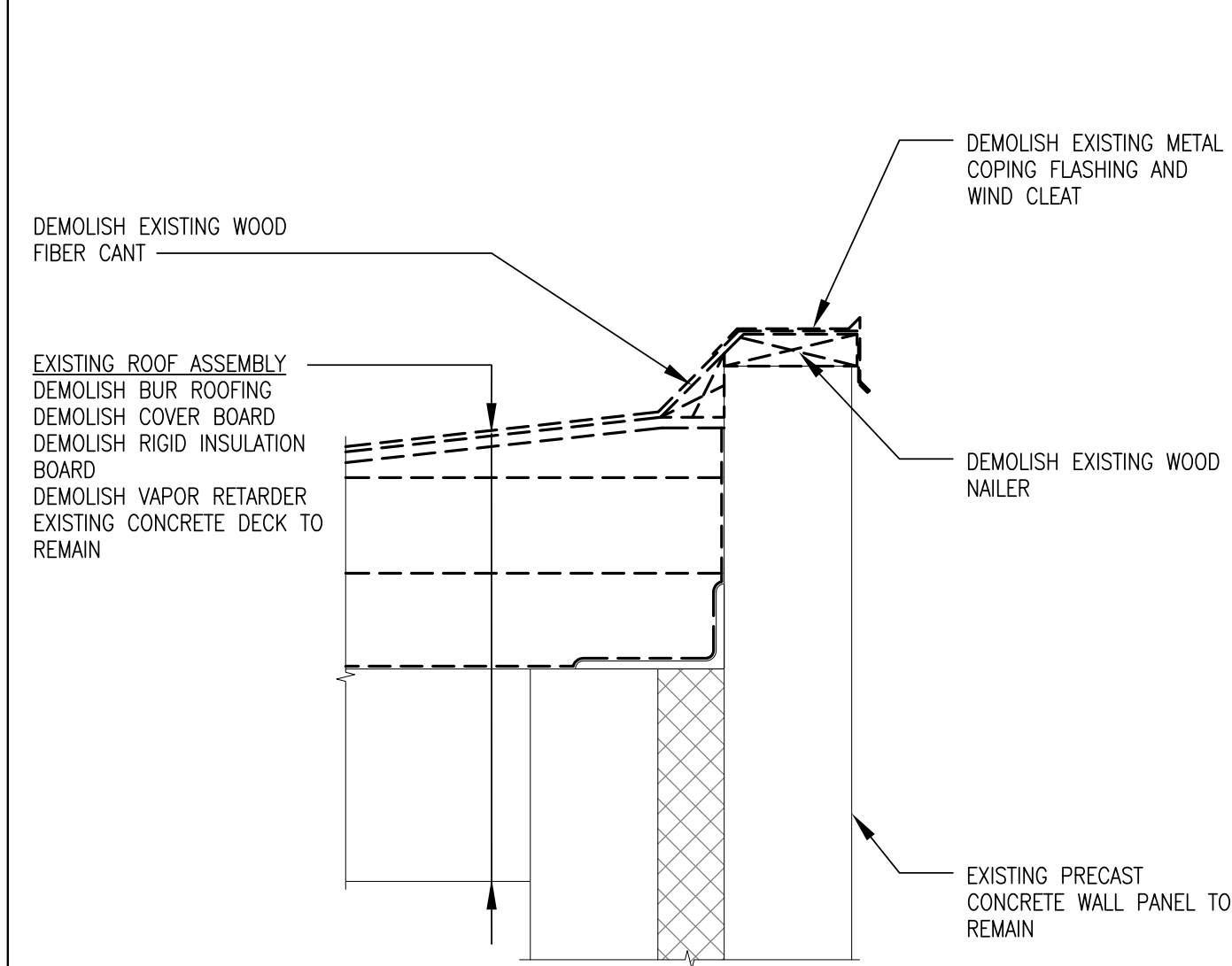
**FAIRBANKS CORRECTIONAL CENTER -
EPDM ROOF REPLACEMENT**
(DOT&PF PROJ NO. 2501000046)
1931 EAGAN AVENUE, FAIRBANKS, ALASKA 99701-

CONSULTANT:

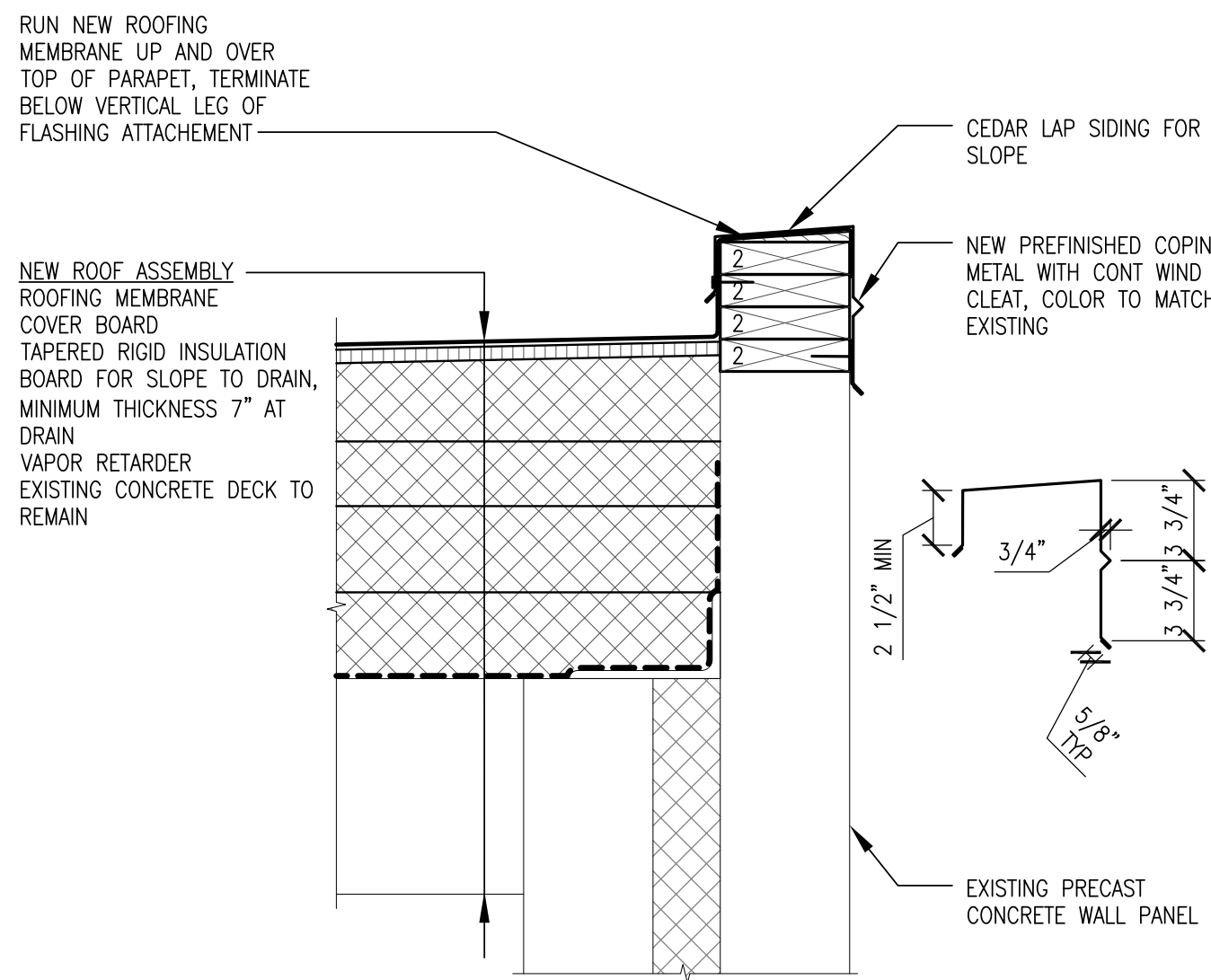
PROJECT NO:		18-155
DATE:		10/26/2018
DRAWN BY:		JLL
CHECKED BY:		RR
Symbol	Description	Date

EXISTING/NEW ROOF
DETAILS

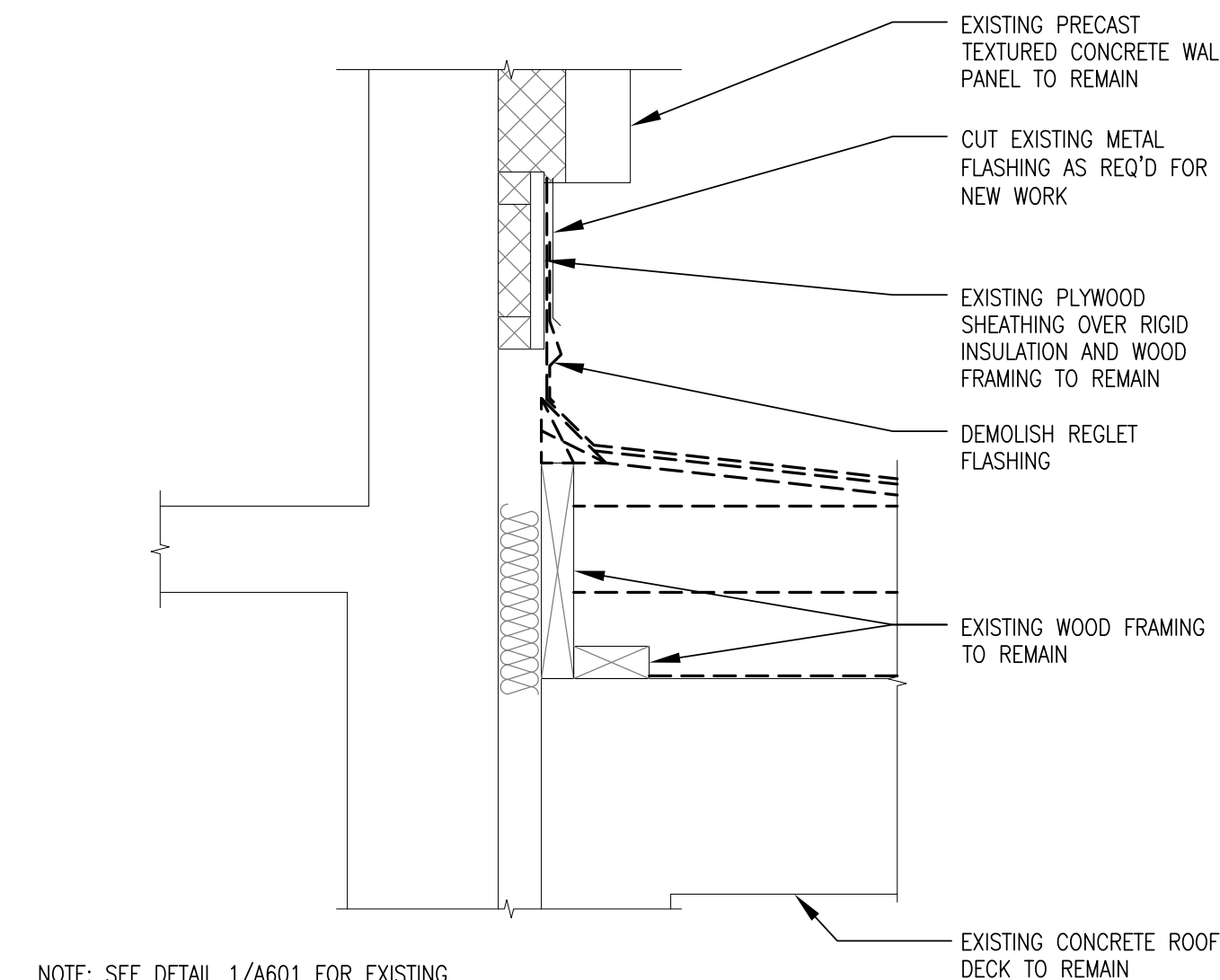
A600



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A601
EXISTING PARAPET - AREA 'B'
SCALE: 1 1/2" = 1'-0"

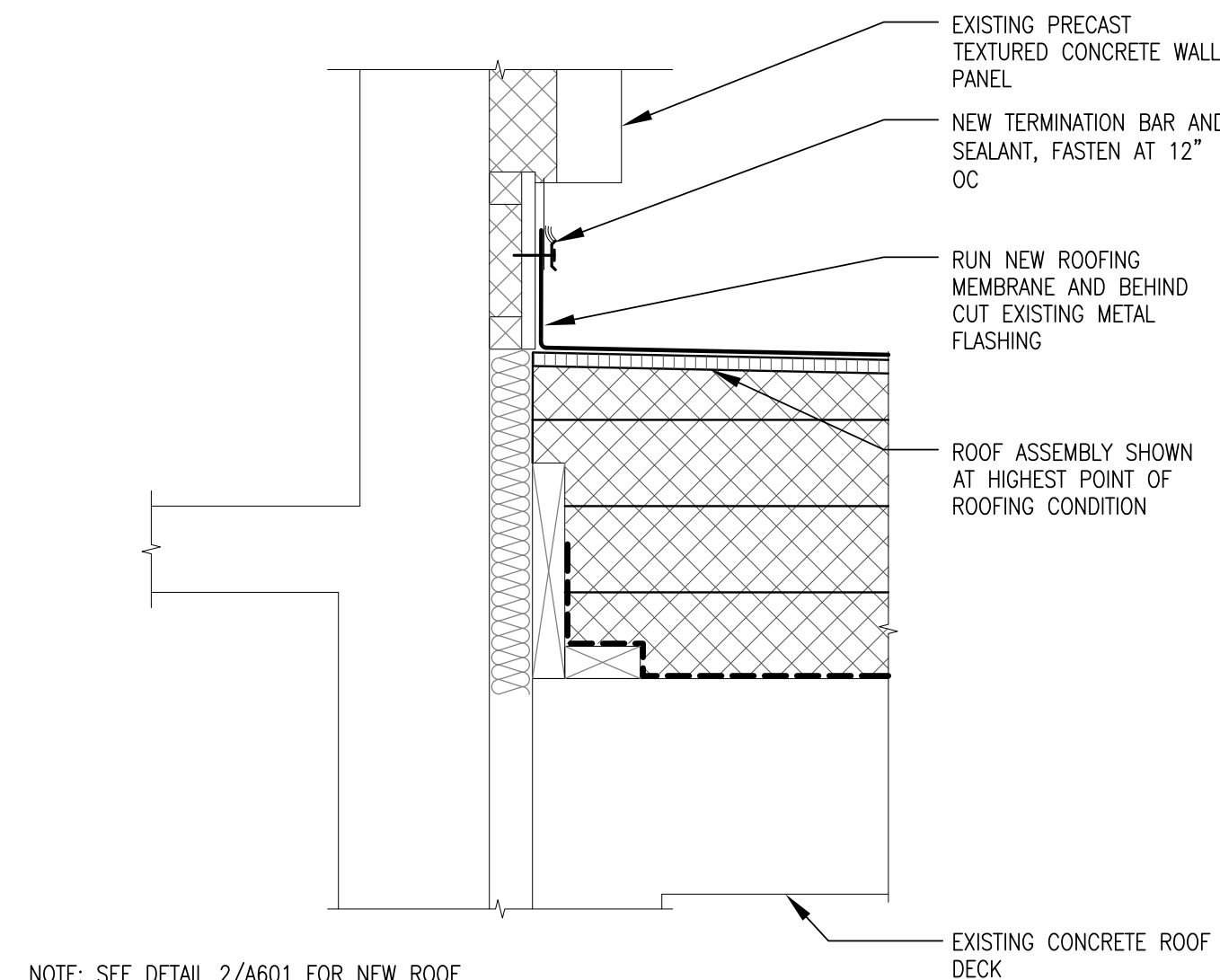


2
A601
NEW PARAPET - AREA 'B'
SCALE: 1 1/2" = 1'-0"



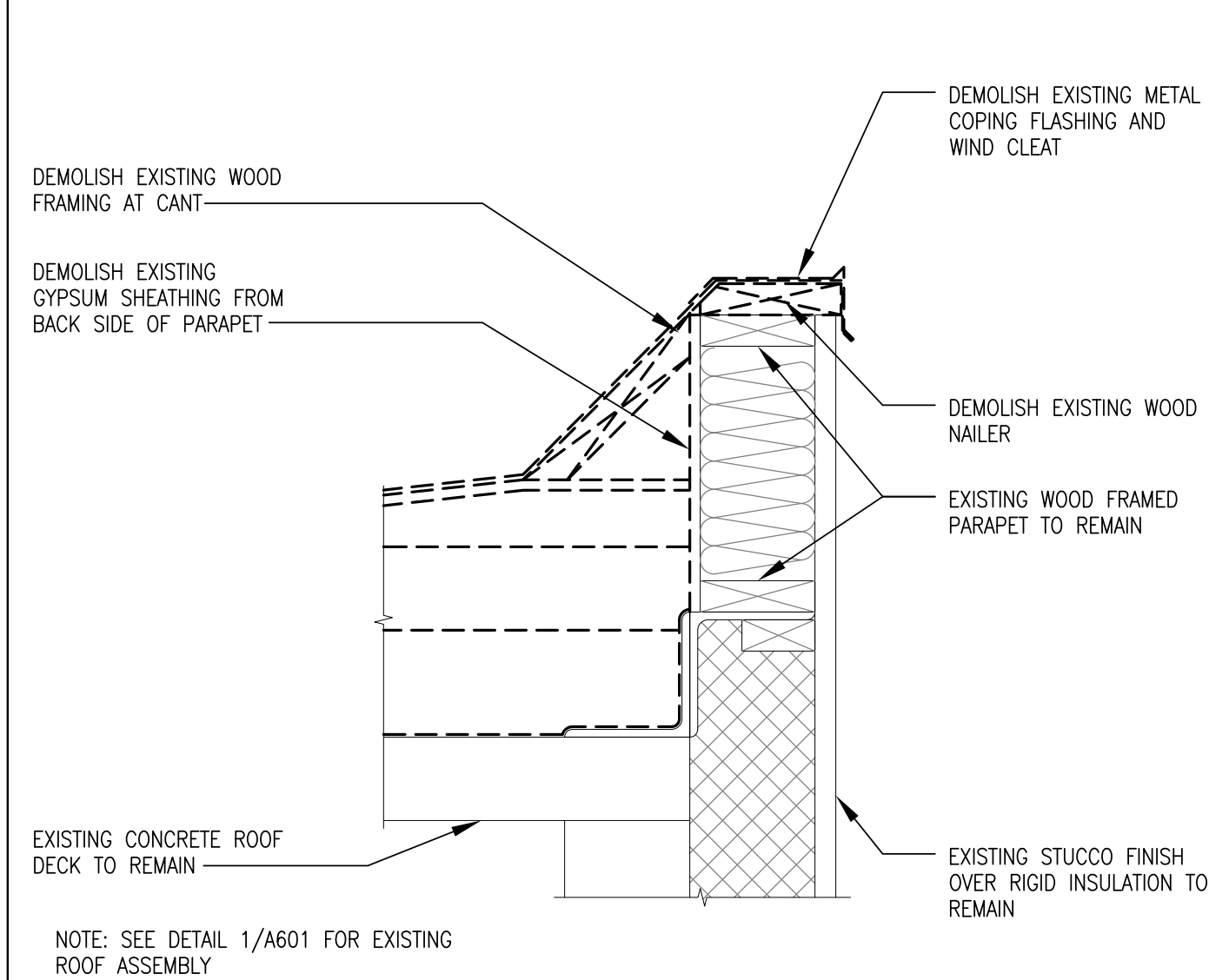
NOTE: SEE DETAIL 1/A601 FOR EXISTING ROOF ASSEMBLY

3
A601
EXIST HEADWALL @ GRID 13 - AREA 'B'
SCALE: 1 1/2" = 1'-0"

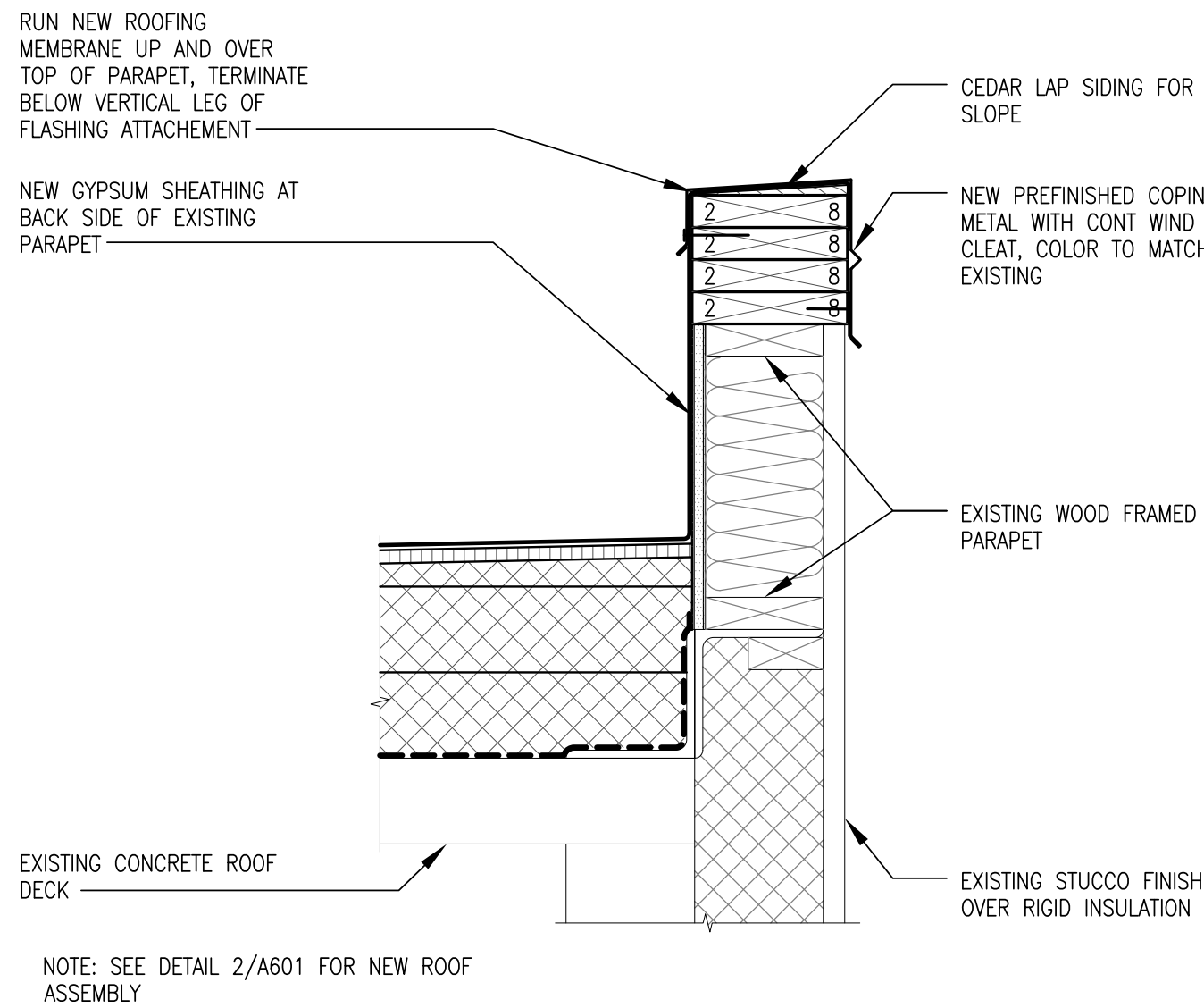


NOTE: SEE DETAIL 2/A601 FOR NEW ROOF ASSEMBLY

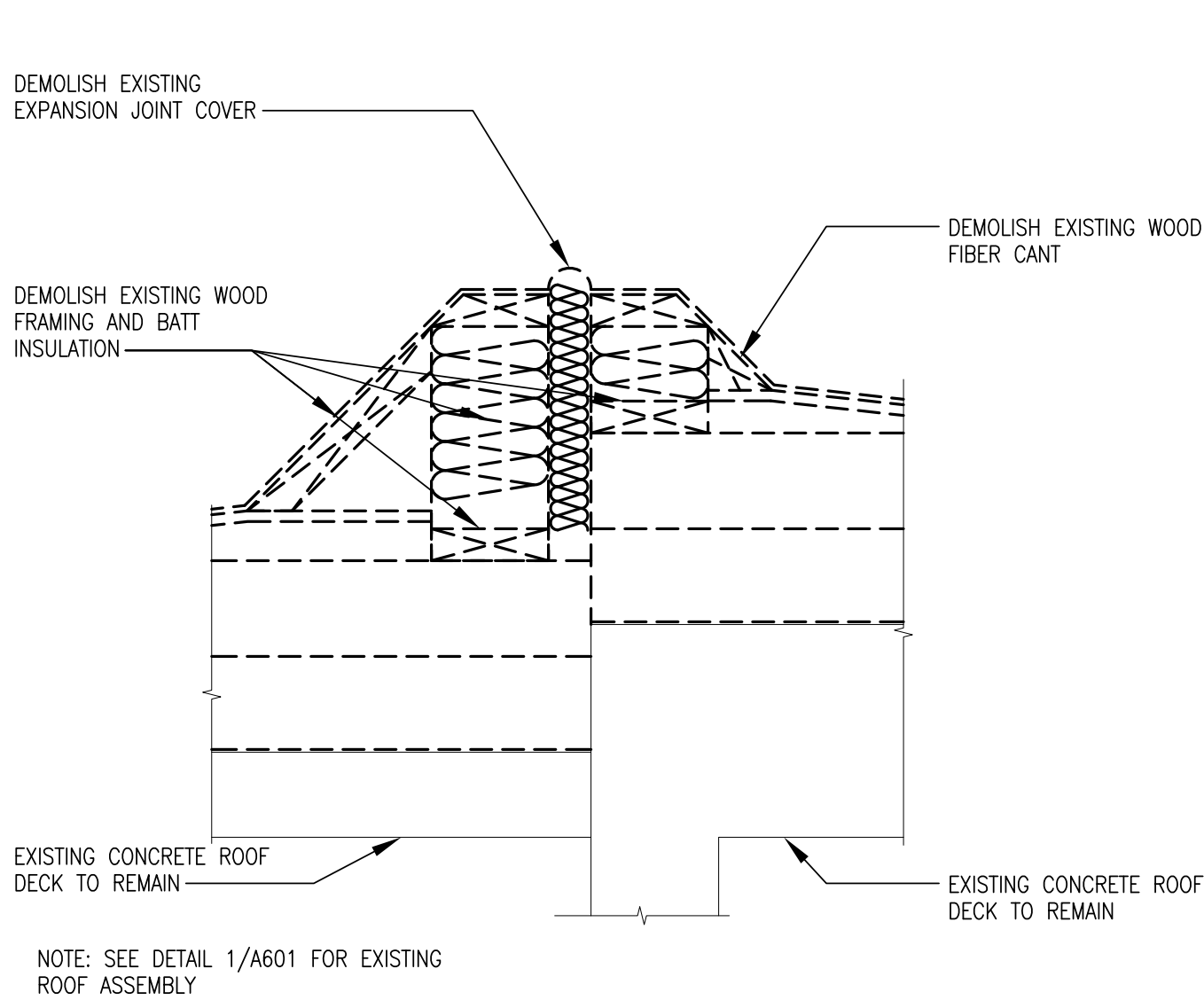
4
A601
NEW HEADWALL @ GRID 13 - AREA 'B'
SCALE: 1 1/2" = 1'-0"



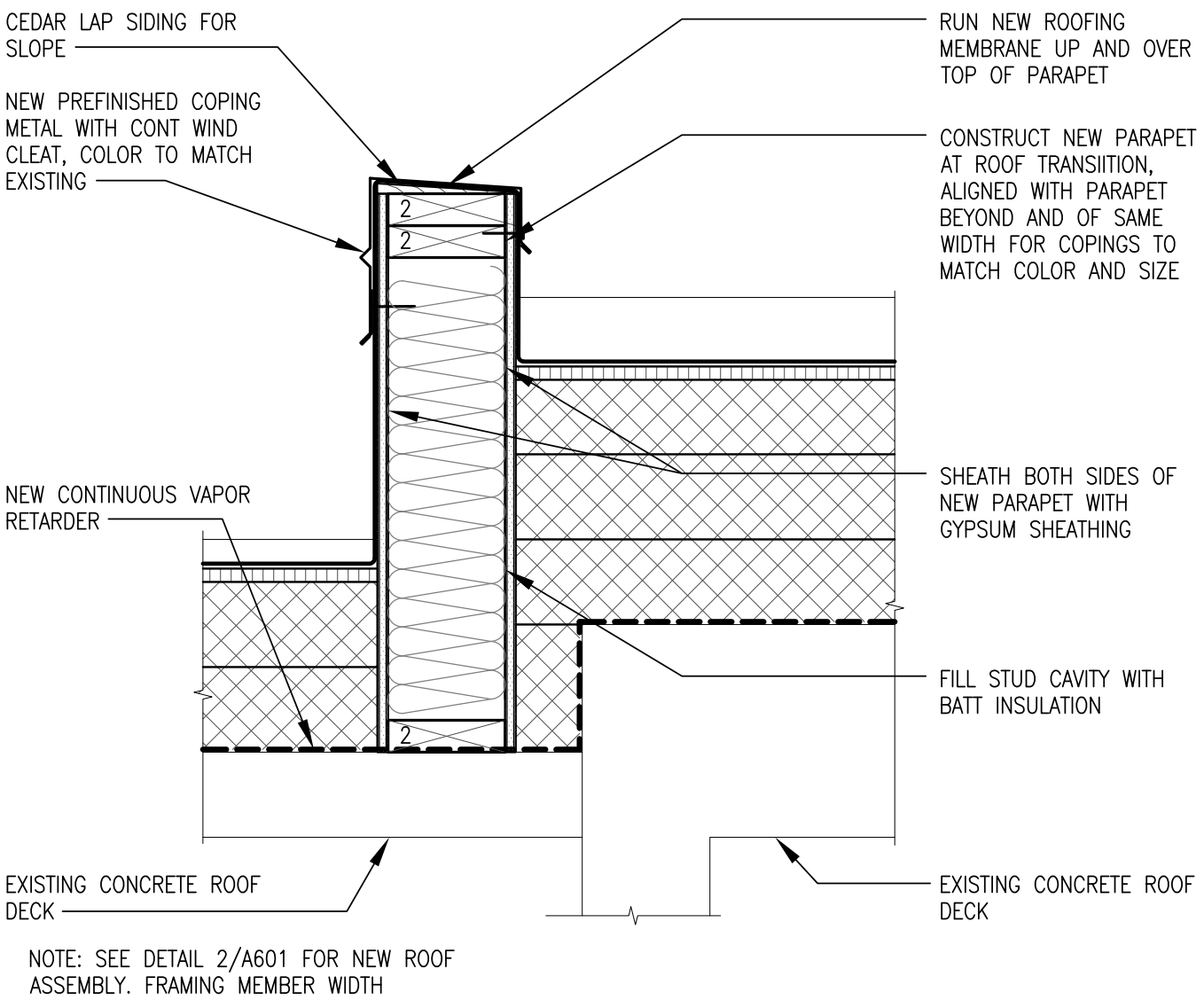
5
A601
EXISTING PARAPET - AREA 'B'
SCALE: 1 1/2" = 1'-0"



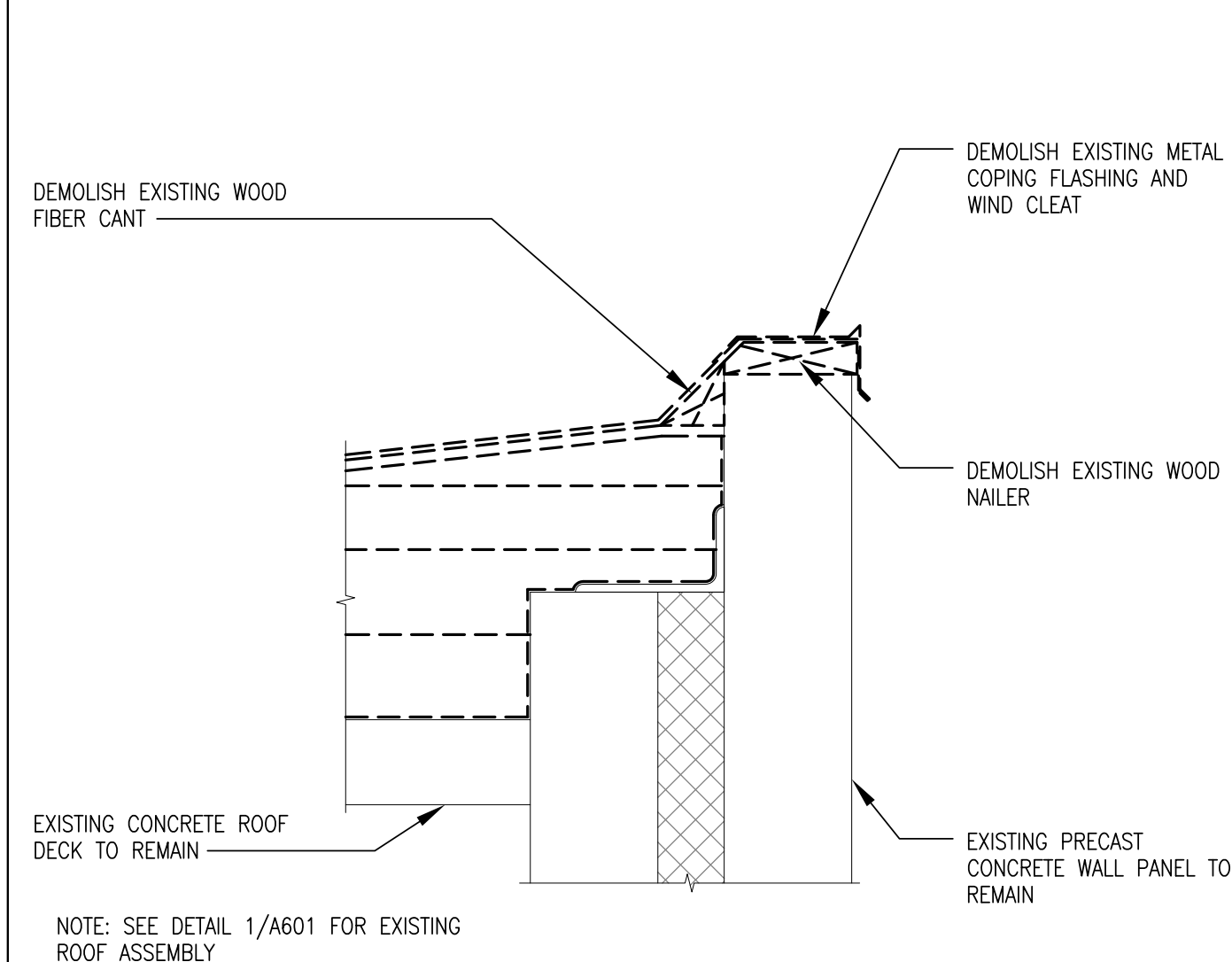
6
A601
NEW PARAPET - AREA 'B'
SCALE: 1 1/2" = 1'-0"



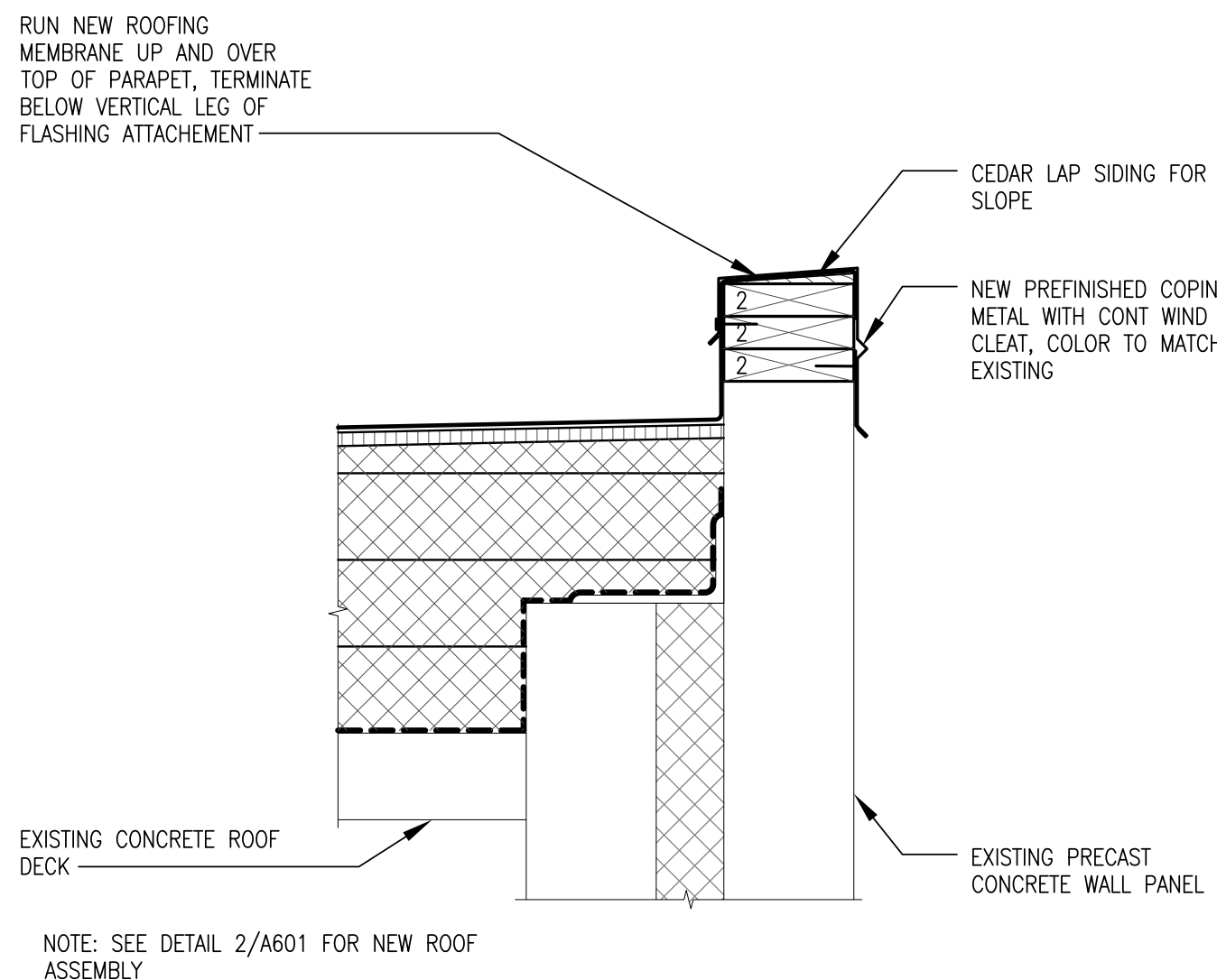
7
A601
EXISTING ROOF TRANSITION DETAIL
SCALE: 1 1/2" = 1'-0"



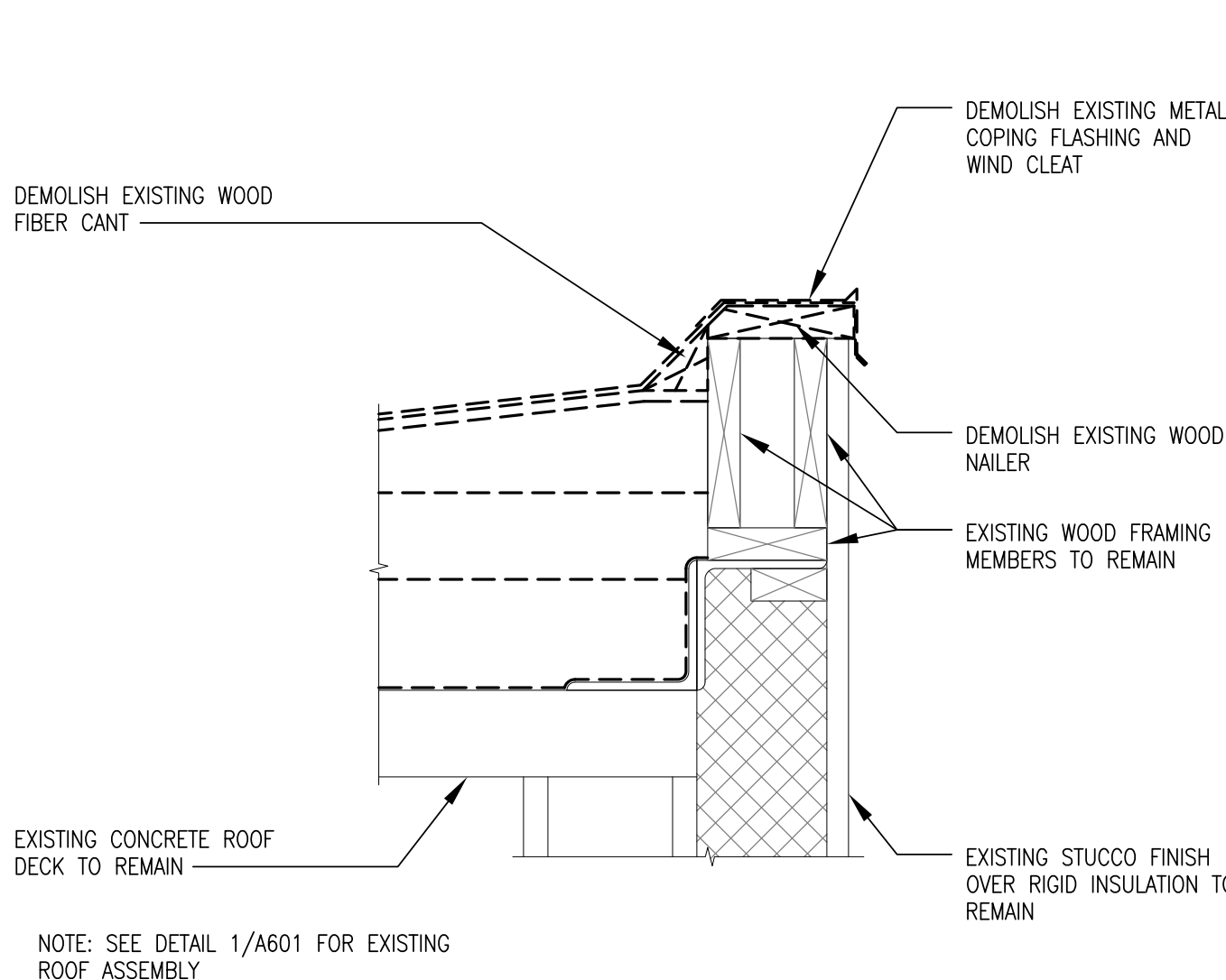
8
A601
NEW ROOF TRANSITION DETAIL
SCALE: 1 1/2" = 1'-0"



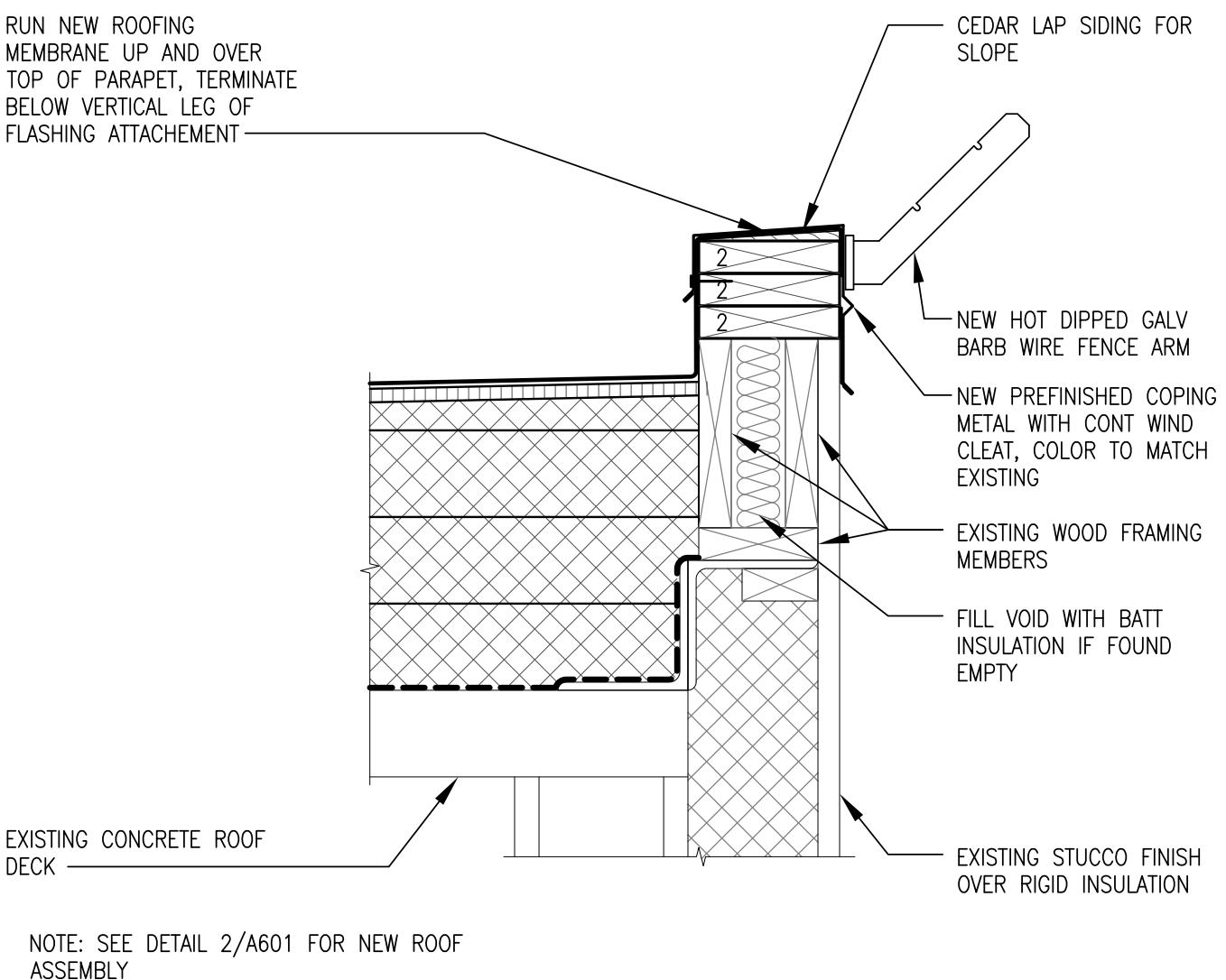
9
A601
EXISTING PARAPET
SCALE: 1 1/2" = 1'-0"



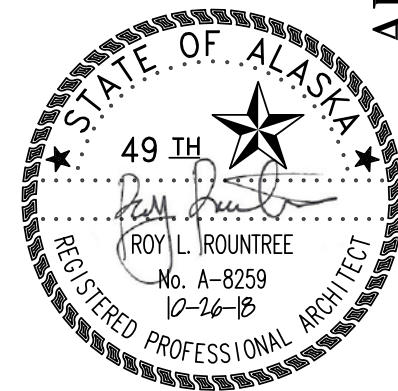
10
A601
NEW PARAPET
SCALE: 1 1/2" = 1'-0"



11
A601
EXISTING PARAPET
SCALE: 1 1/2" = 1'-0"



12
A601
NEW PARAPET
SCALE: 1 1/2" = 1'-0"



FAIRBANKS CORRECTIONAL CENTER -

EPDM ROOF REPLACEMENT

(DOT&PF PROJ NO. 2501000046)

1931 EAGAN AVENUE, FAIRBANKS, ALASKA 99701-

CONSULTANT:

PROJECT NO: 18-155
DATE: 10/26/2018
DRAWN BY: JLL
CHECKED BY: RR

Symbol	Description	Date

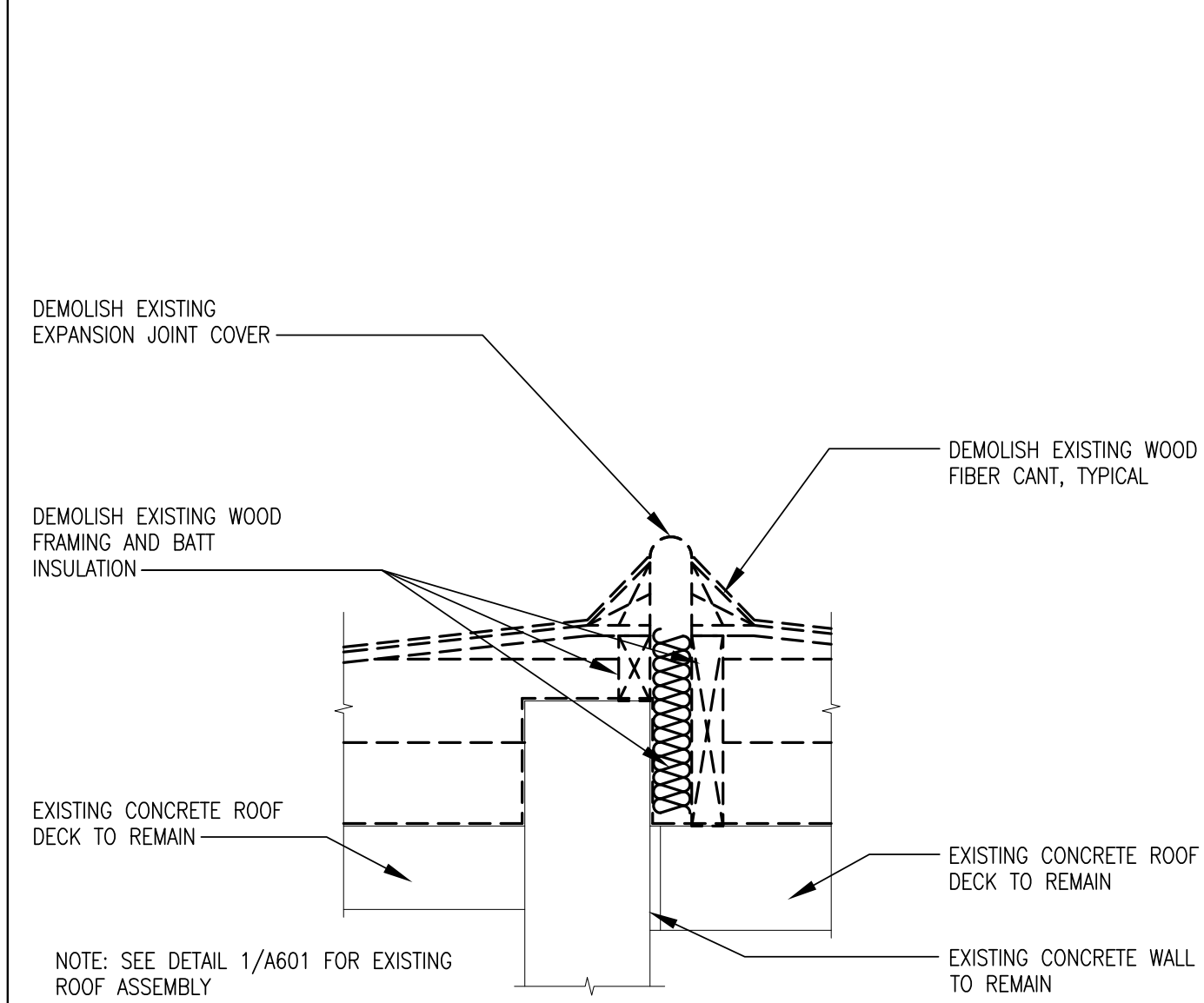
EXISTING/NEW ROOF
DETAILS - AREA 'B'

A601

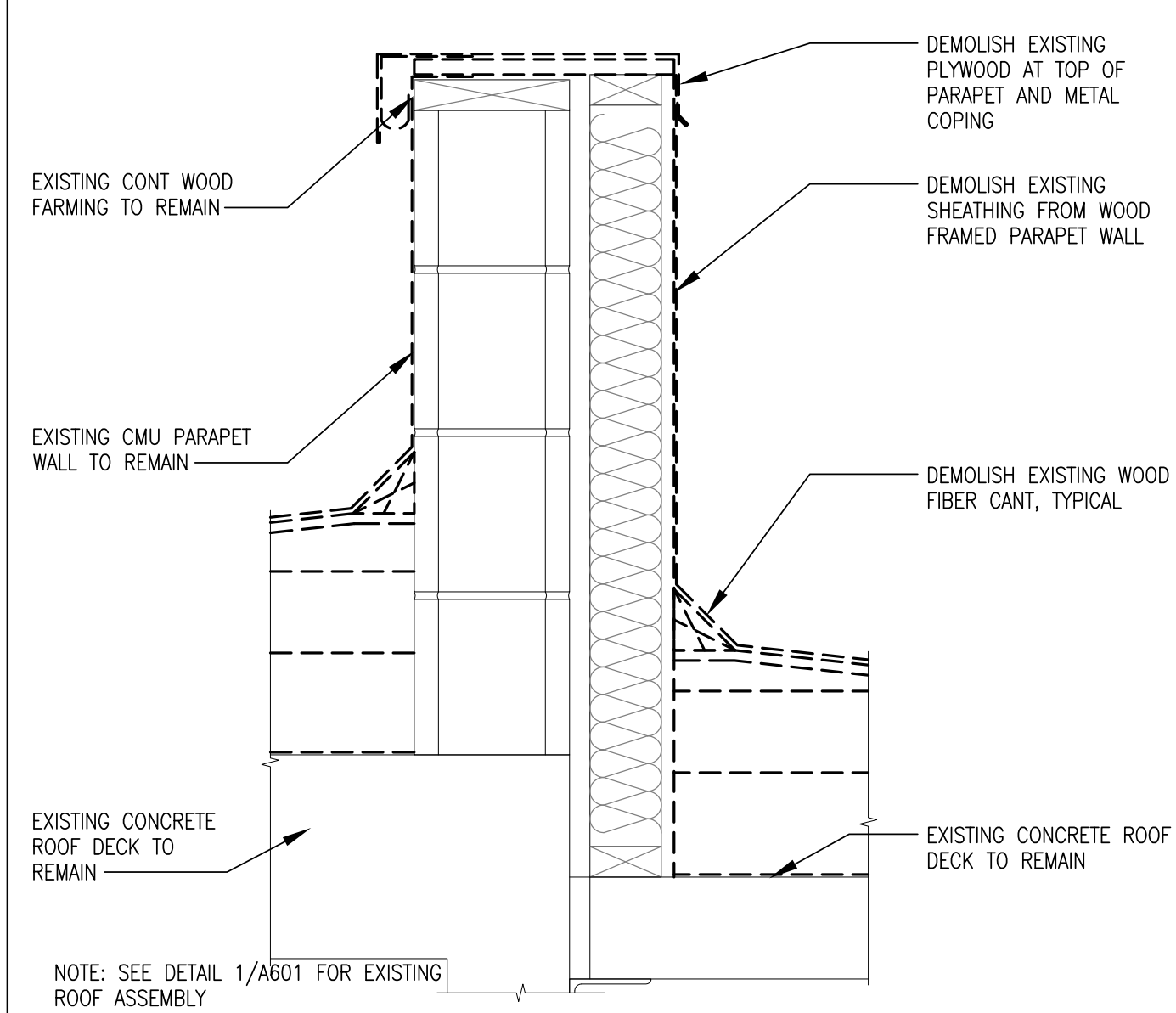
ARCHITECT: BETTISWORTH NORTH

2600 DENALI STREET SUITE 710 ANCHORAGE, ALASKA 99503 (907) 561-5780
212 FRONT STREET FAIRBANKS, ALASKA 99701 (907) 456-5780
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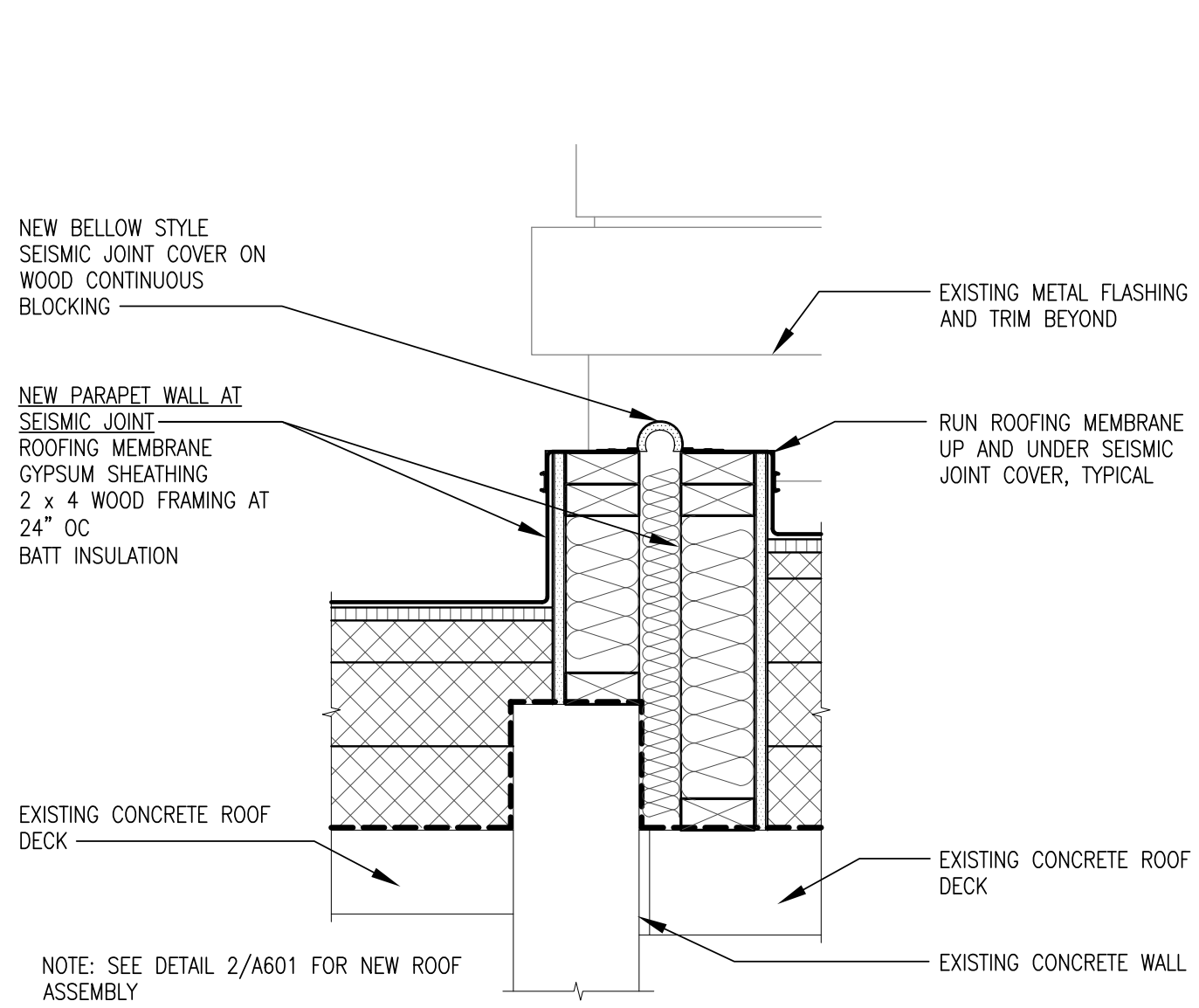
100% CONSTRUCTION DOCUMENTS



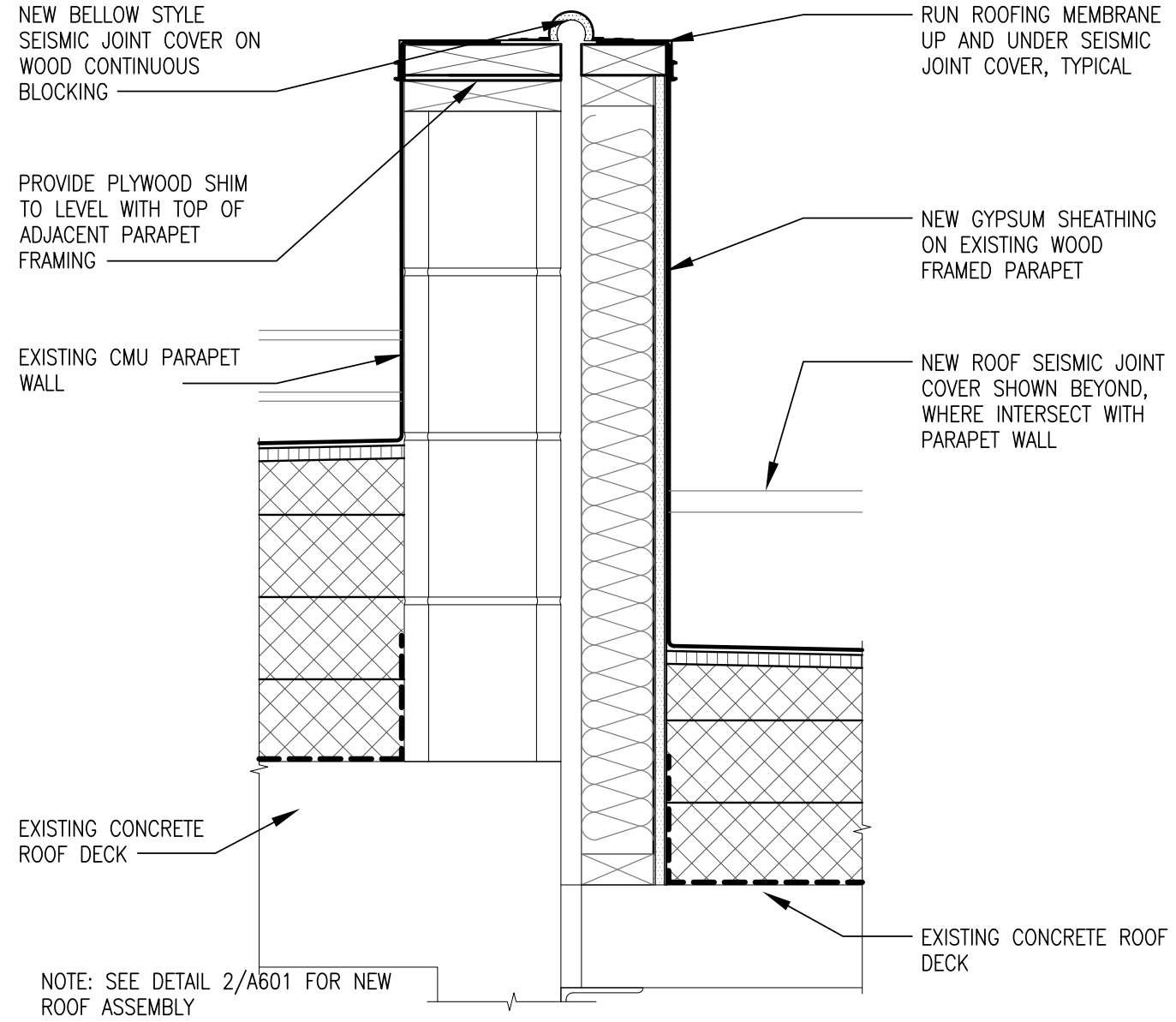
1
A602
EXISTING ROOF SEISMIC JOINT DETAIL
SCALE: 1 1/2" = 1'-0"



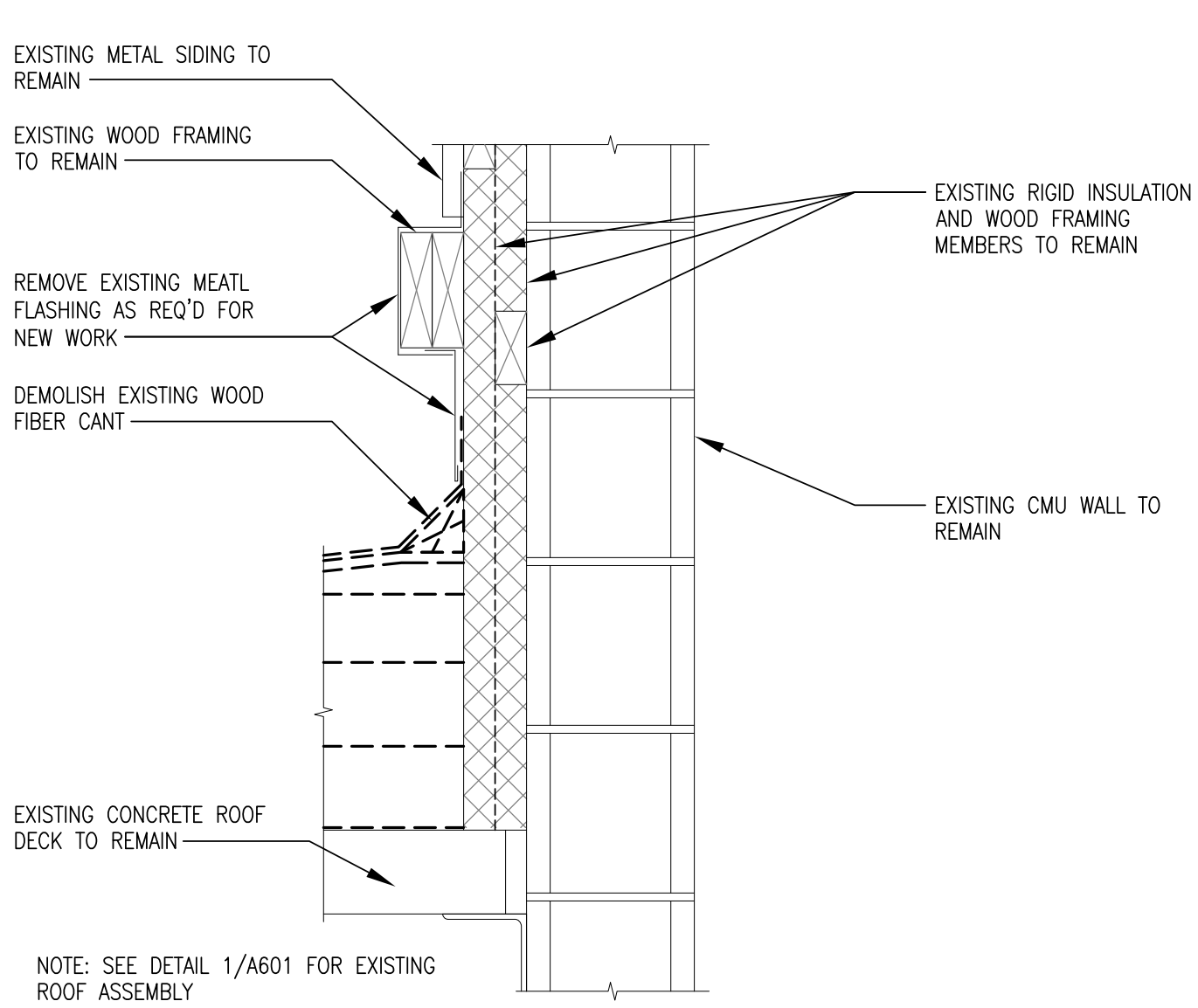
5
A602
EXISTING ROOF SEISMIC JOINT DETAIL
SCALE: 1 1/2" = 1'-0"



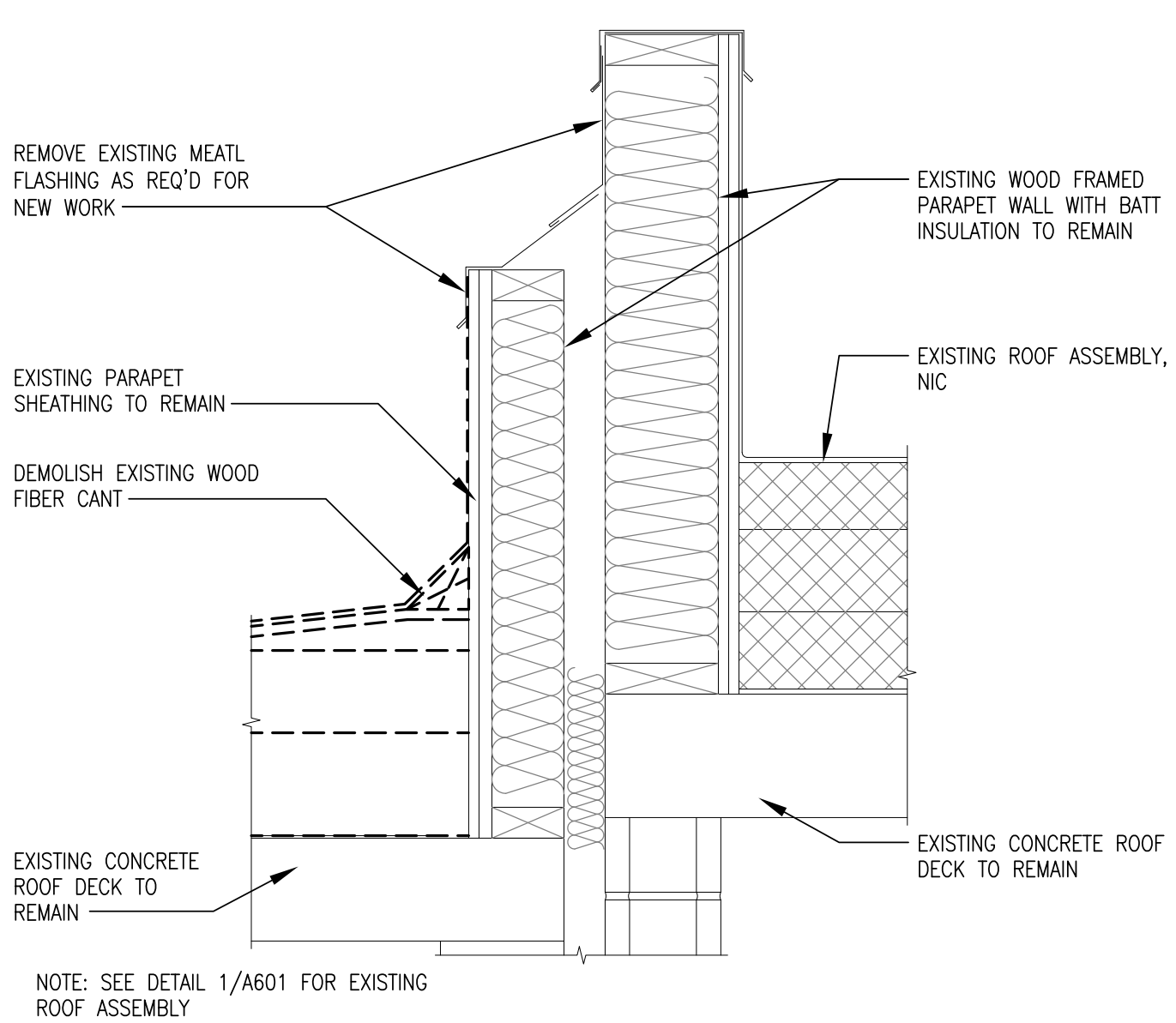
2
A602
NEW ROOF SEISMIC JOINT DETAIL
SCALE: 1 1/2" = 1'-0"



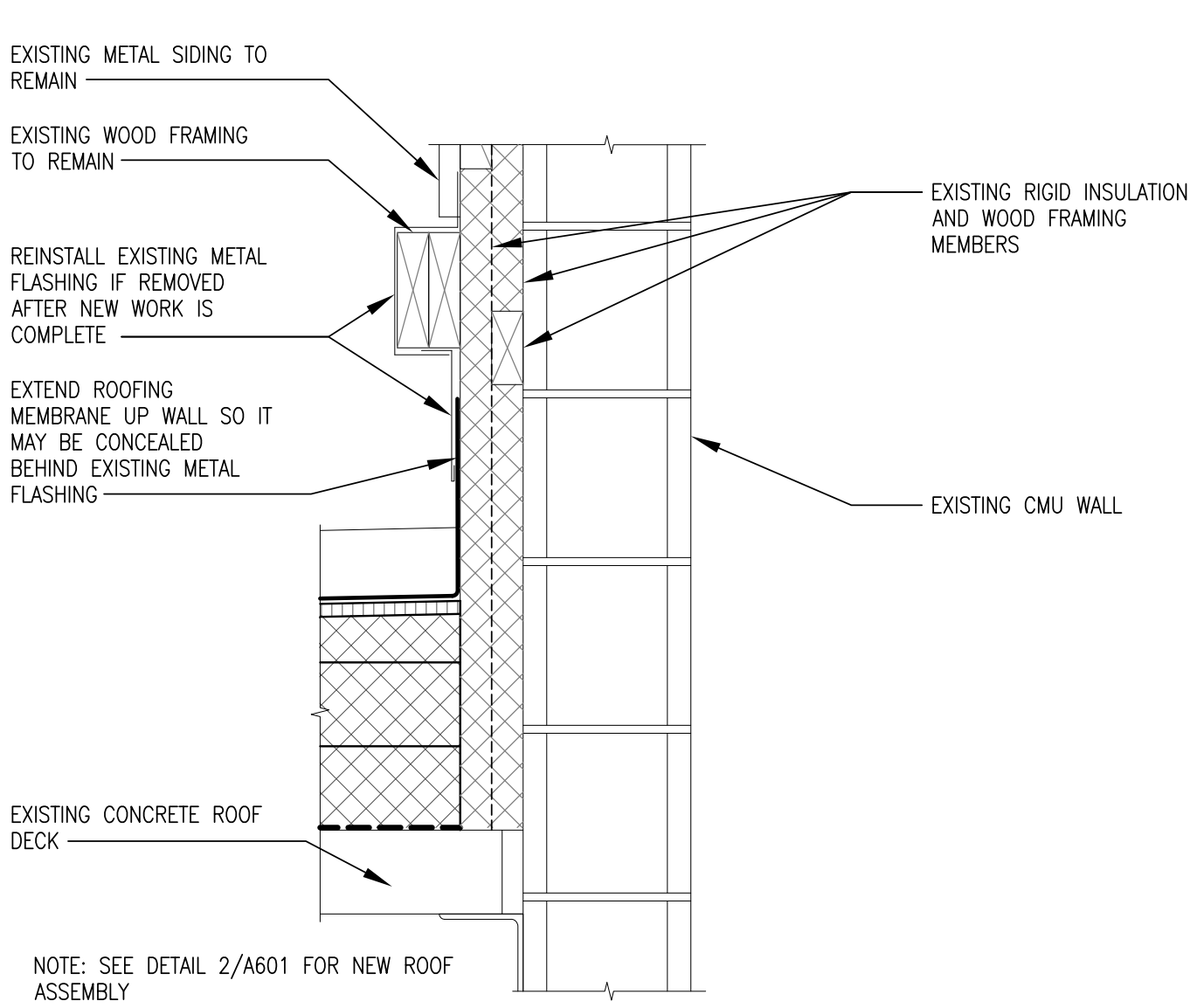
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A602
NEW ROOF SEISMIC JOINT DETAIL
SCALE: 1 1/2" = 1'-0"



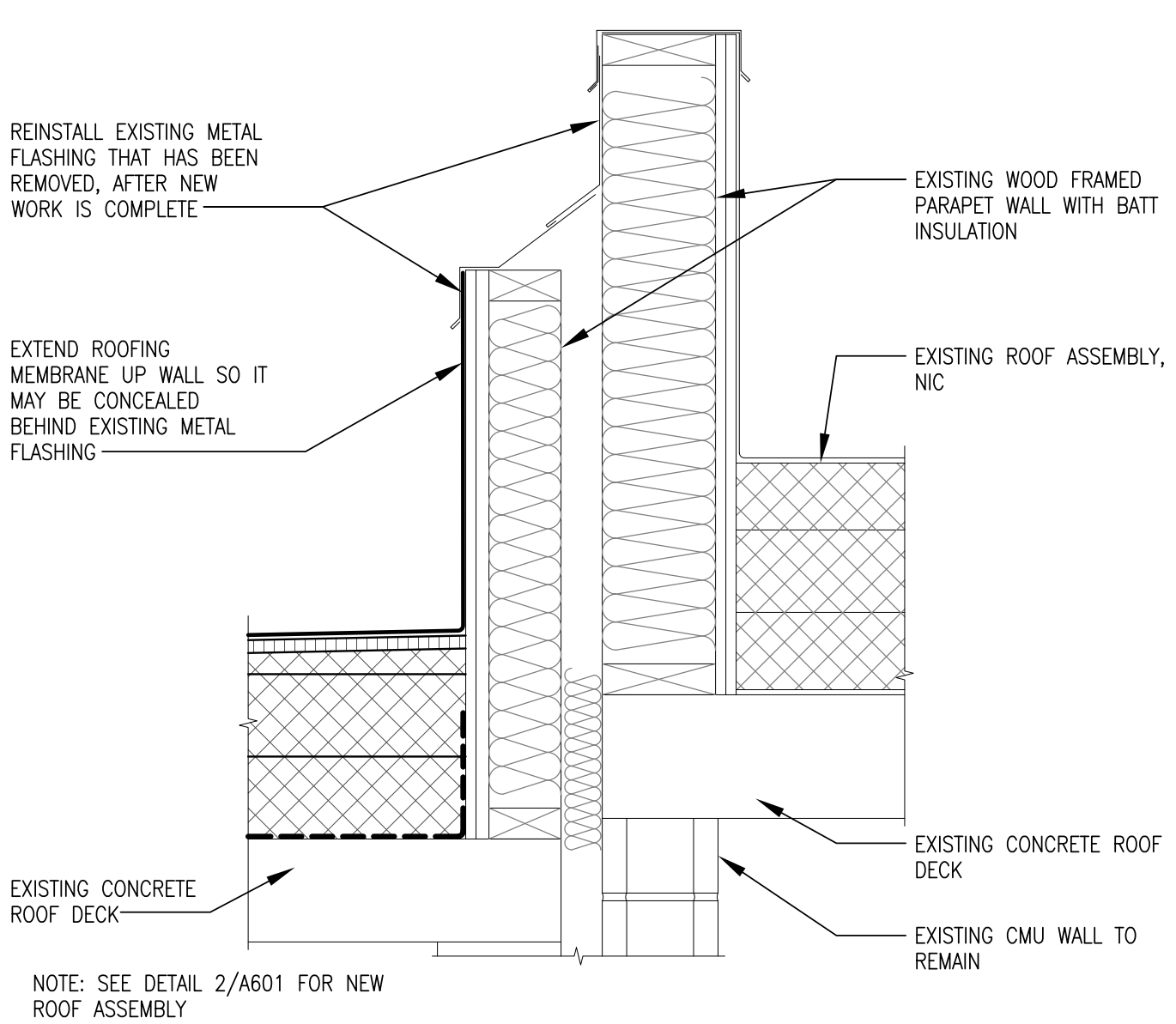
3
A602
EXIST HEADWALL @ GYM - AREA 'B'
SCALE: 1 1/2" = 1'-0"



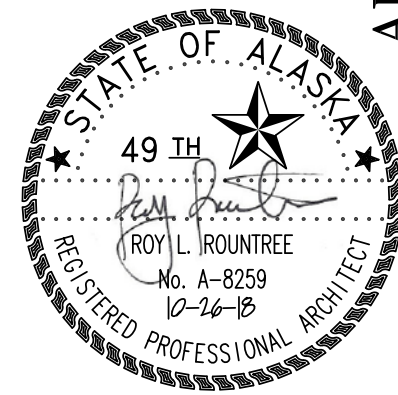
7
A602
EXISTING ROOF SEISMIC JOINT DETAIL
SCALE: 1 1/2" = 1'-0"



4
A602
NEW HEADWALL @ GYM - AREA 'B'
SCALE: 1 1/2" = 1'-0"



8
A602
NEW ROOF SEISMIC JOINT DETAIL
SCALE: 1 1/2" = 1'-0"



**FAIRBANKS CORRECTIONAL CENTER -
EPDM ROOF REPLACEMENT**
(DOT&PF PROJ NO. 2501000046)
1931 EAGAN AVENUE, FAIRBANKS, ALASKA 99701-

CONSULTANT:

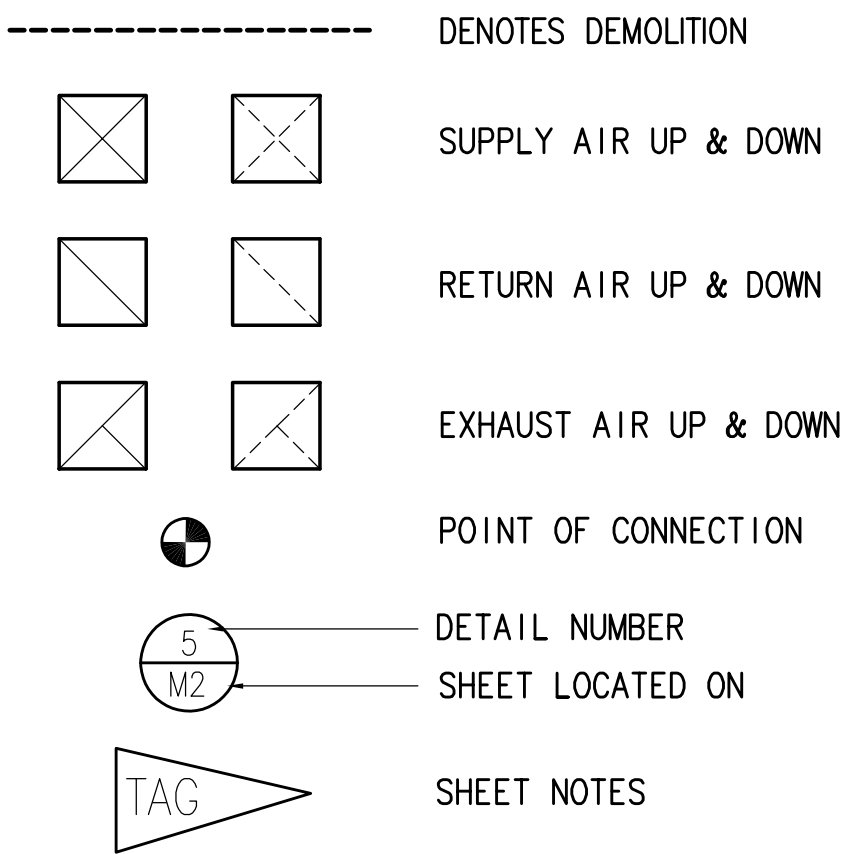
PROJECT NO:		18-155
DATE:		10/26/2018
DRAWN BY:		JLL
CHECKED BY:		RR
Symbol	Description	Date

EXISTING/NEW ROOF
DETAILS - AREA 'B'
A602

ROOF DRAIN SCHEDULE

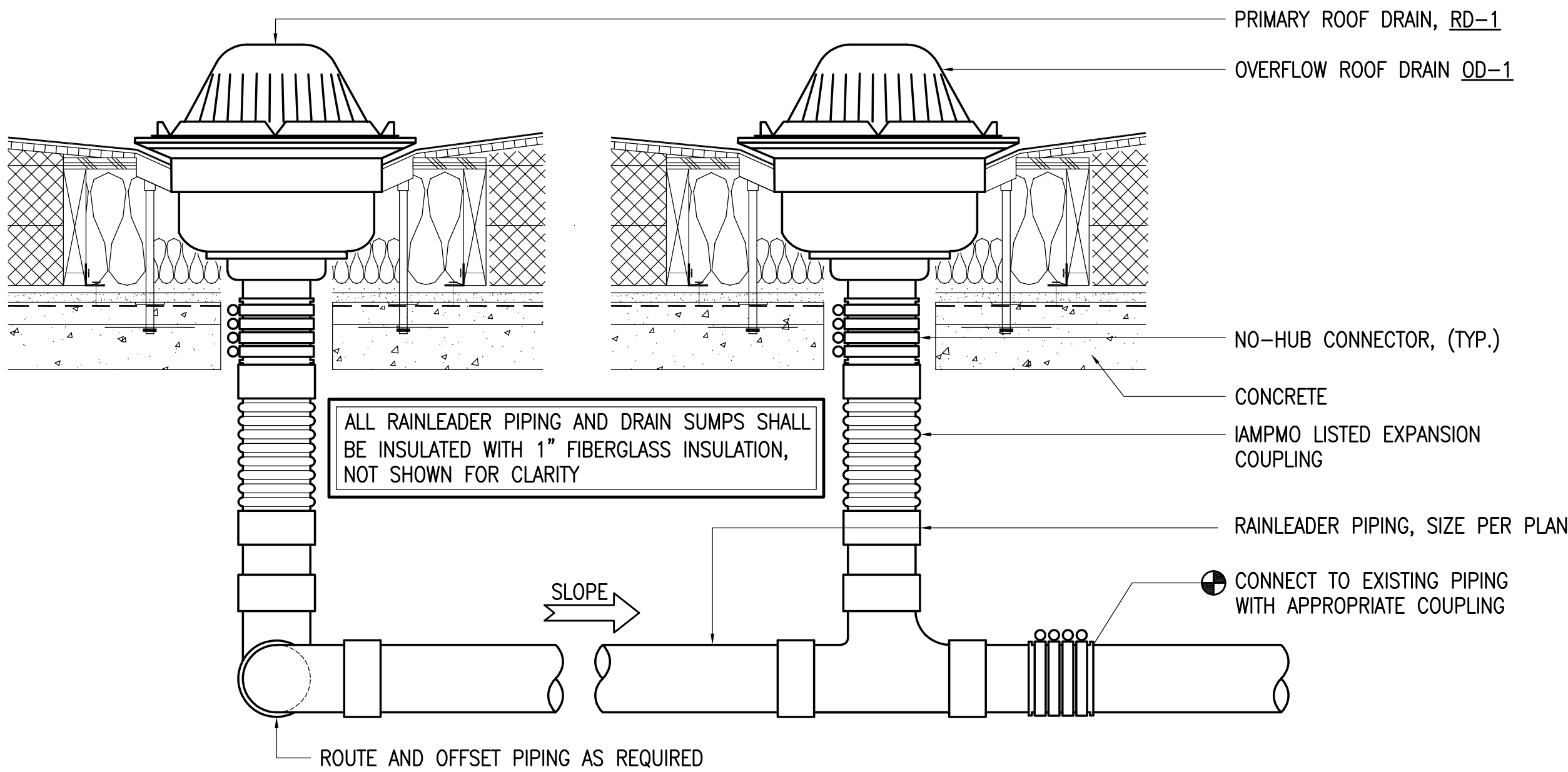
SYMBOL	FIXTURE	MANUFACTURER	MODEL	SIZE	COLOR/FINISH	TRIM/REMARKS
RD-1	ROOF DRAIN	JR SMITH	1015	3"	CAST IRON	NO-HUB OUTLET, UNDERDECK AND CLAMP HARDWARE KIT, CAST IRON DOME STRAINER.
OD-1	OVERFLOW ROOF DRAIN	JR SMITH	1015	3"	CAST IRON	NO-HUB OUTLET, UNDERDECK AND CLAMP HARDWARE KIT, CAST IRON DOME STRAINER, DRAIN MTD 2" ABOVE PRIMARY DRAIN.
RD-2	ROOF DRAIN	JR SMITH	1015	4"	CAST IRON	NO-HUB OUTLET, UNDERDECK AND CLAMP HARDWARE KIT, CAST IRON DOME STRAINER.
OD-2	OVERFLOW ROOF DRAIN	JR SMITH	1015	4"	CAST IRON	NO-HUB OUTLET, UNDERDECK AND CLAMP HARDWARE KIT, CAST IRON DOME STRAINER, DRAIN MTD 2" ABOVE PRIMARY DRAIN.
ON-1	OVERFLOW NOZZLE	JR SMITH	1770	4"	BRONZE	NO-HUB CONNECTION.

LEGEND



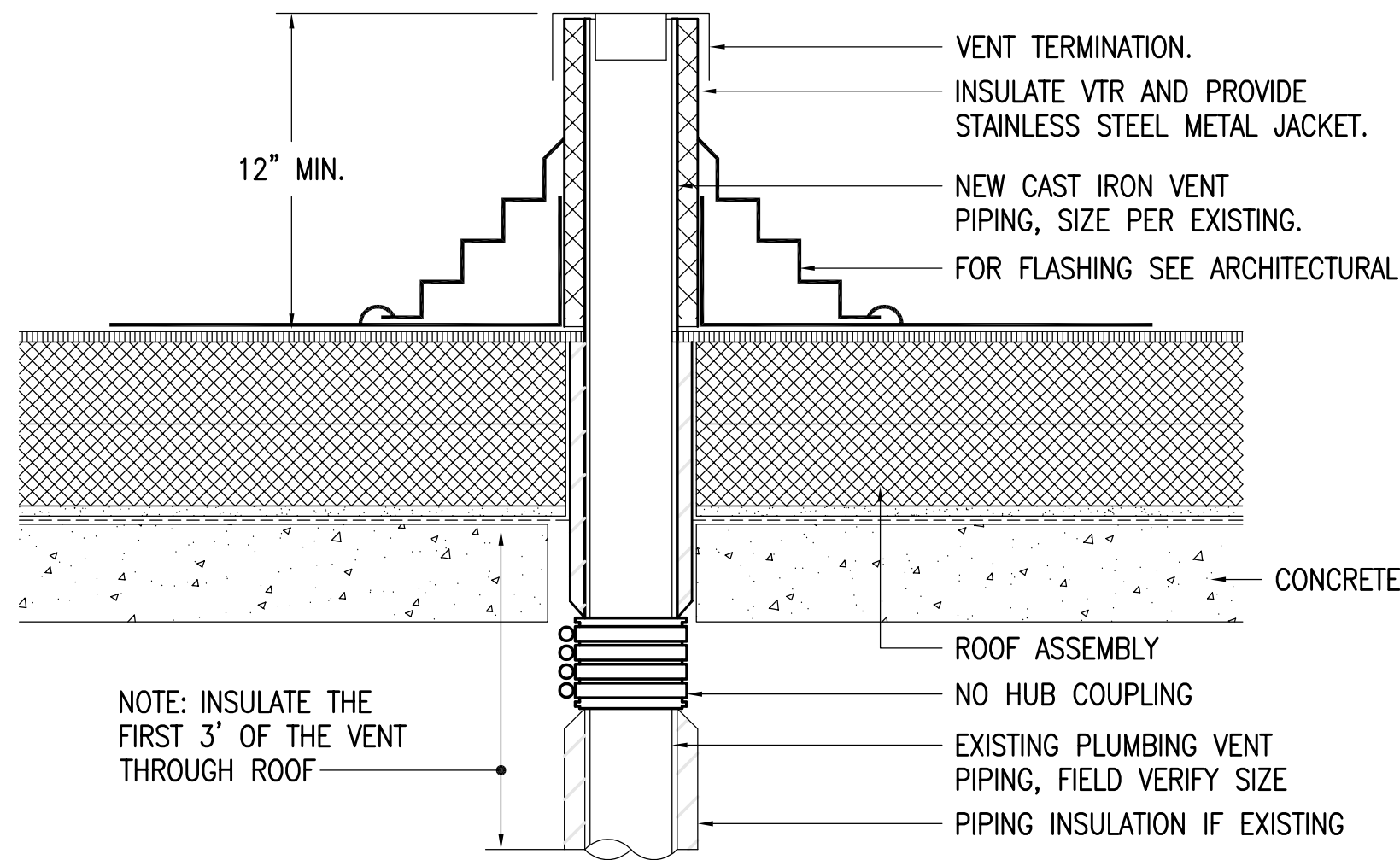
ABBREVIATIONS

ARCH	ARCHITECTURAL
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS
ASTM	AMERICAN STANDARD FOR TESTING AND MATERIALS
DWG	DRAWING
E/A	EXHAUST AIR
EXIST	EXISTING
EXH	EXHAUST
IAPMO	INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS
IBC	INTERNATIONAL BUILDING CODE
IFC	INTERNATIONAL FIRE CODE
IMC	INTERNATIONAL MECHANICAL CODE
MTD	MOUNTED
O/A	OUTSIDE AIR
OD-X	OVERFLOW DRAIN
R/A	RETURN AIR
RD-X	ROOF DRAIN DESIGNATOR
RL	RAIN LEADER
S/A	SUPPLY AIR
SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION
TYP	TYPICAL
UBC	UNIFORM BUILDING CODE
UL	UNDERWRITERS LABORATORY
UPC	UNIFORM PLUMBING CODE
V	VENT
VTR	VENT THRU ROOF



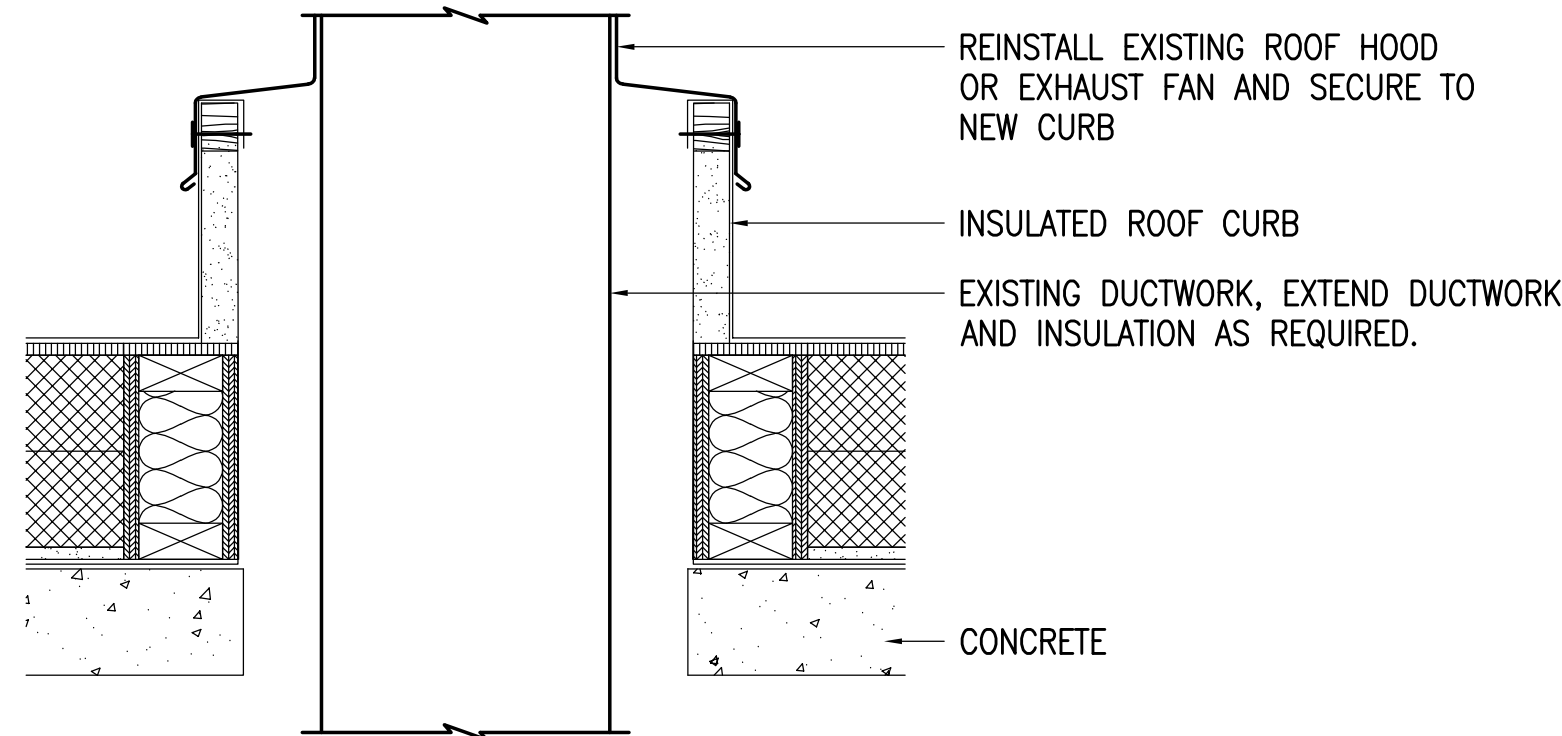
1 ROOF DRAIN DETAIL

NO SCALE



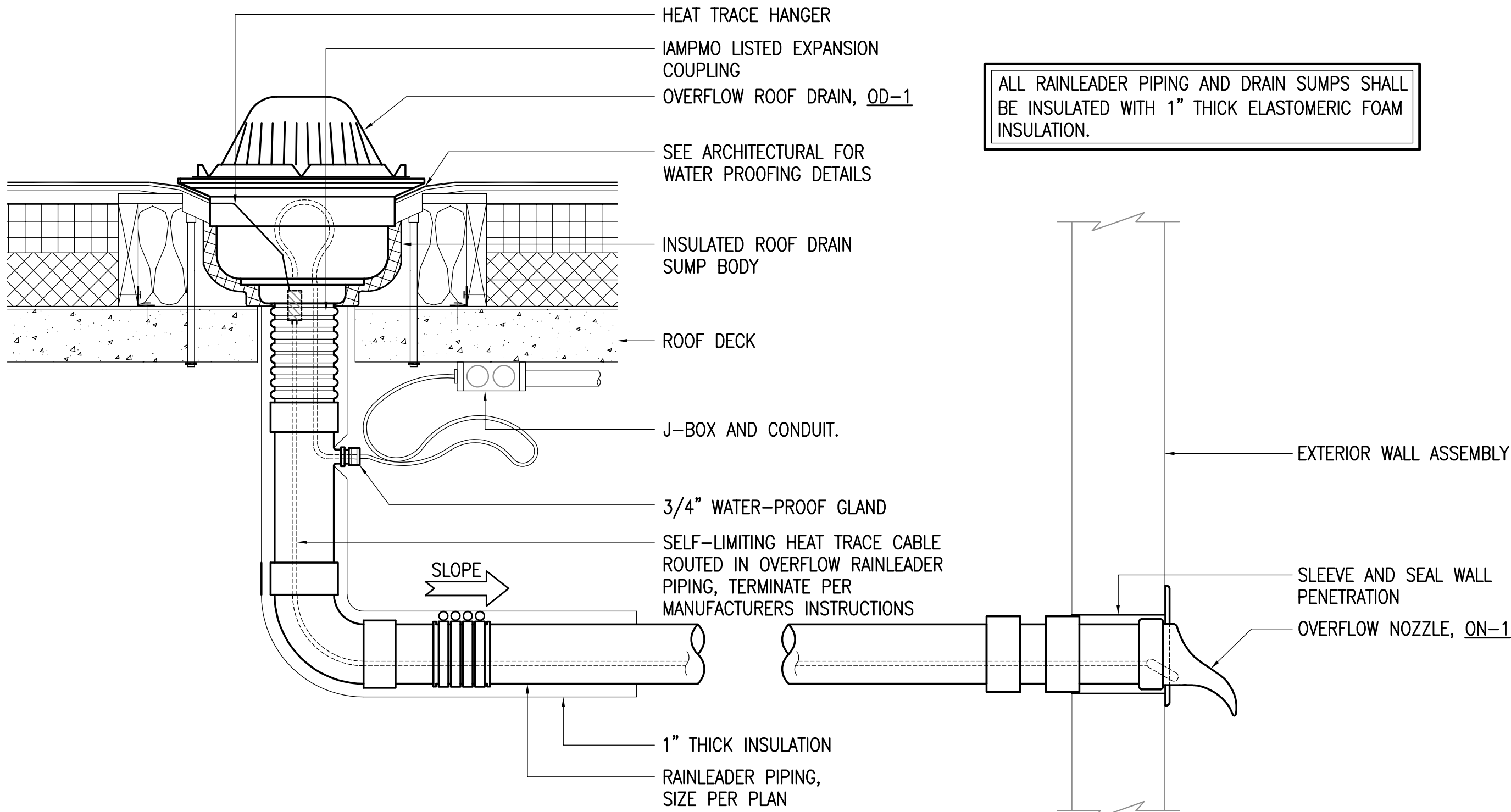
2 VENT THROUGH ROOF DETAIL

NO SCALE



3 ROOF HOOD / EXHAUST FAN DETAIL

NO SCALE



4 OVERFLOW DRAIN DETAIL

NO SCALE



FAIRBANKS CORRECTIONAL CENTER -
EPDM ROOF REPLACEMENT
(DOT&PF PROJ NO. 2501000046)
1931 EAGAN AVENUE, FAIRBANKS, ALASKA 99701-

CONSULTANT:

RSA

Mechanical and
Electrical Consulting
Engineers
670 West Fireweed Lane, Suite 200
Anchorage, AK 99503
(907)276-0521
Corporate No.: AECC542

PROJECT NO: L8146
DATE: 10/26/2018
DRAWN BY: ARN
CHECKED BY: RRD

Symbol	Description	Date

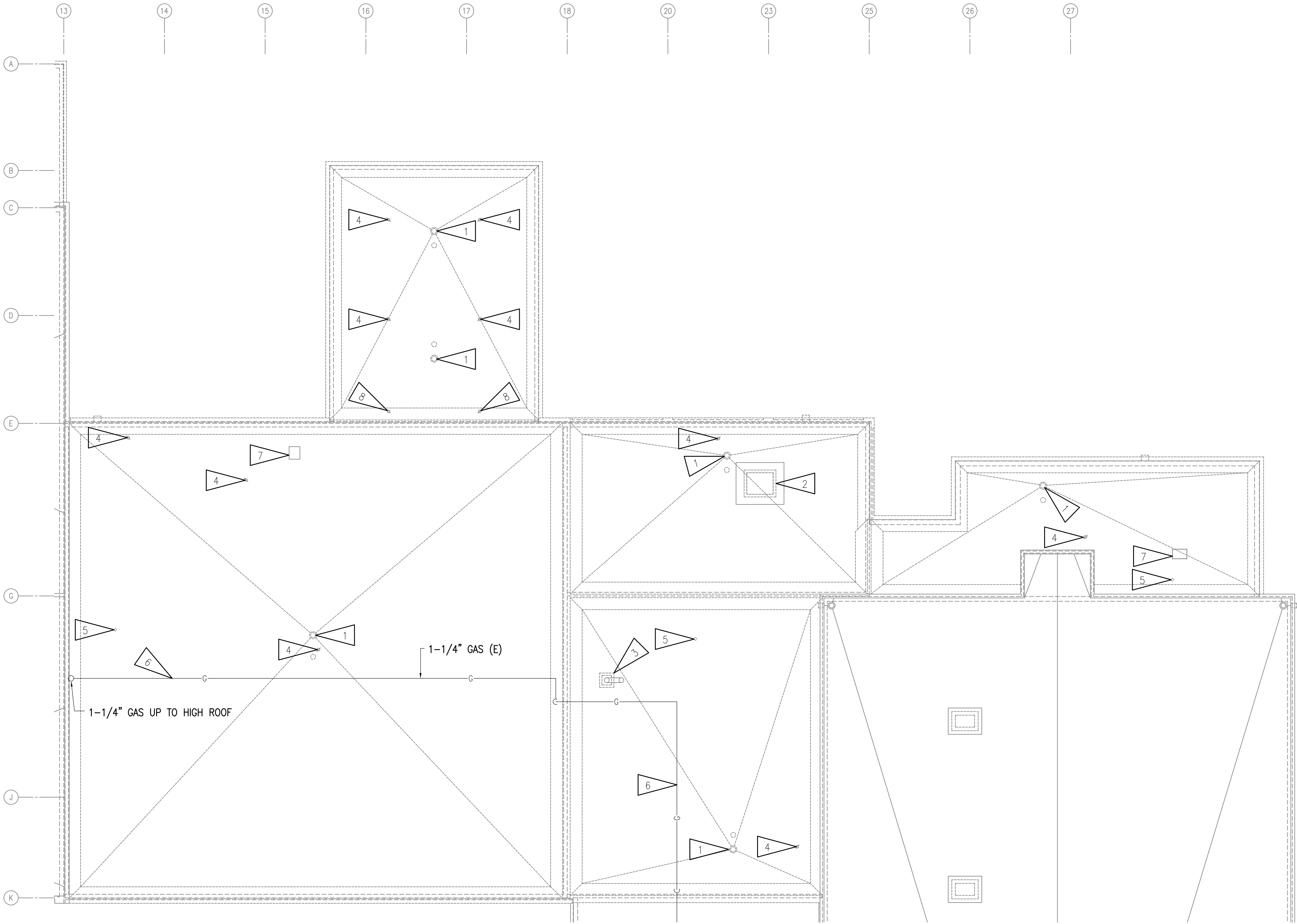
LEGEND, ABBREVIATIONS,
SCHEDULE AND DETAILS

M001

ARCHITECT: BETTISWORTH NORTH

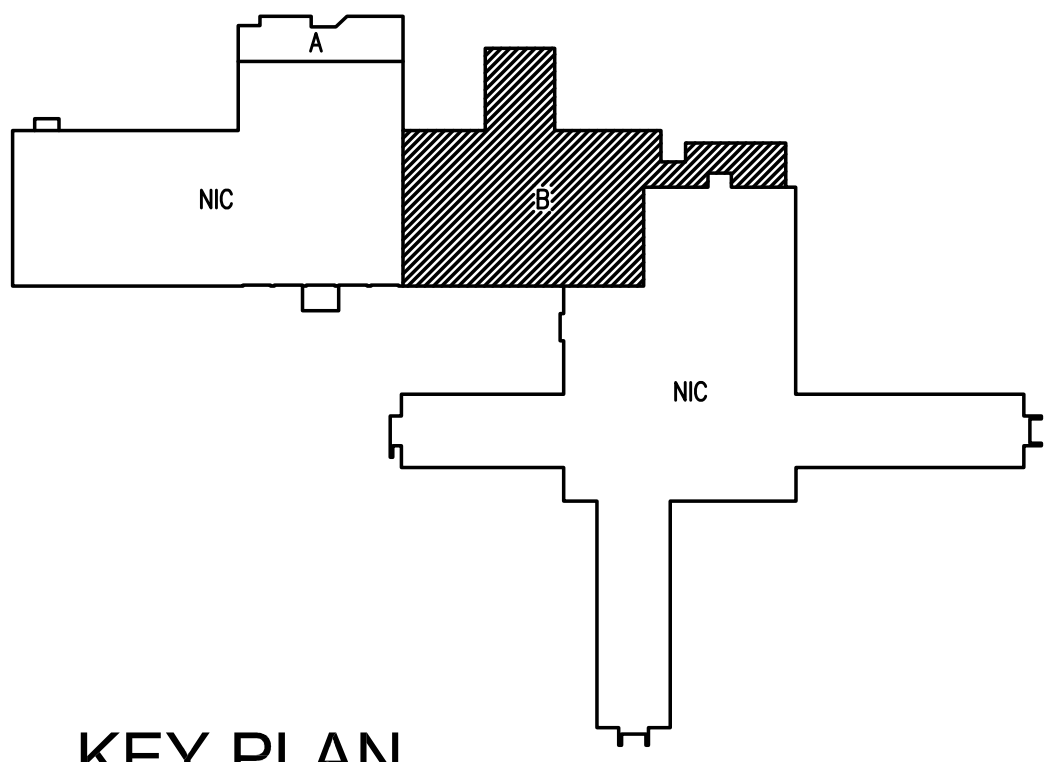
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CONSTRUCTION DOCUMENTS



DEMOLITION SHEET NOTES:

- 1 DEMOLISH ROOF DRAIN AND SUMP.
- 2 DEMOLISH ROOF CURB AND REMOVE AND SALVAGE RELIEF HOOD.
- 3 DEMOLISH ROOF CURB AND REMOVE AND SALVAGE EXHAUST GOOSENECK.
- 4 DEMOLISH PLUMBING VENT THROUGH ROOF (VTR), RECONNECT IN REMODEL.
- 5 DEMOLISH ROOF VENT.
- 6 PROVIDE TEMPORARY SUPPORT FOR EXISTING GAS PIPING, REINSTALL PIPE AND SUPPORTS.
- 7 DEMOLISH ROOF CURB AND REMOVE AND SALVAGE EXHAUST DUCT ASSEMBLY.
- 8 DEMOLISH PLUMBING VENT THROUGH ROOF (VTR). VENT TO BE RELOCATED TO AVOID PARAPET IN REMODEL.



1 PARTIAL ROOF MECHANICAL DEMOLITION PLAN - AREA 'B'
1/8" = 1'-0"



**FAIRBANKS CORRECTIONAL CENTER -
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1931 EAGAN AVENUE, FAIRBANKS, ALASKA 99701-

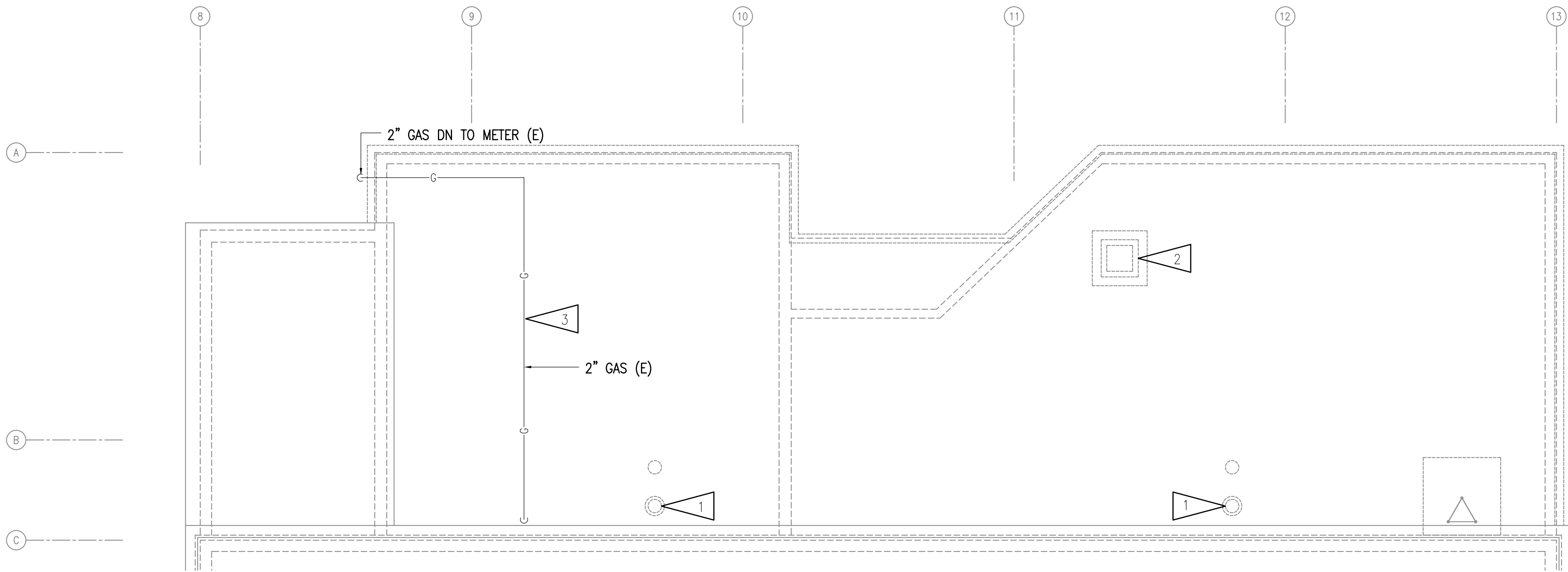
CONSULTANT:
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Electrical Consulting
Engineers
670 West Fireweed Lane, Suite 200
Anchorage, AK 99503
(907)276-0521
Corporate No.: AECC542

PROJECT NO:		L8146
DATE:		10/26/2018
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CHECKED BY:		RRD
Symbol	Description	Date

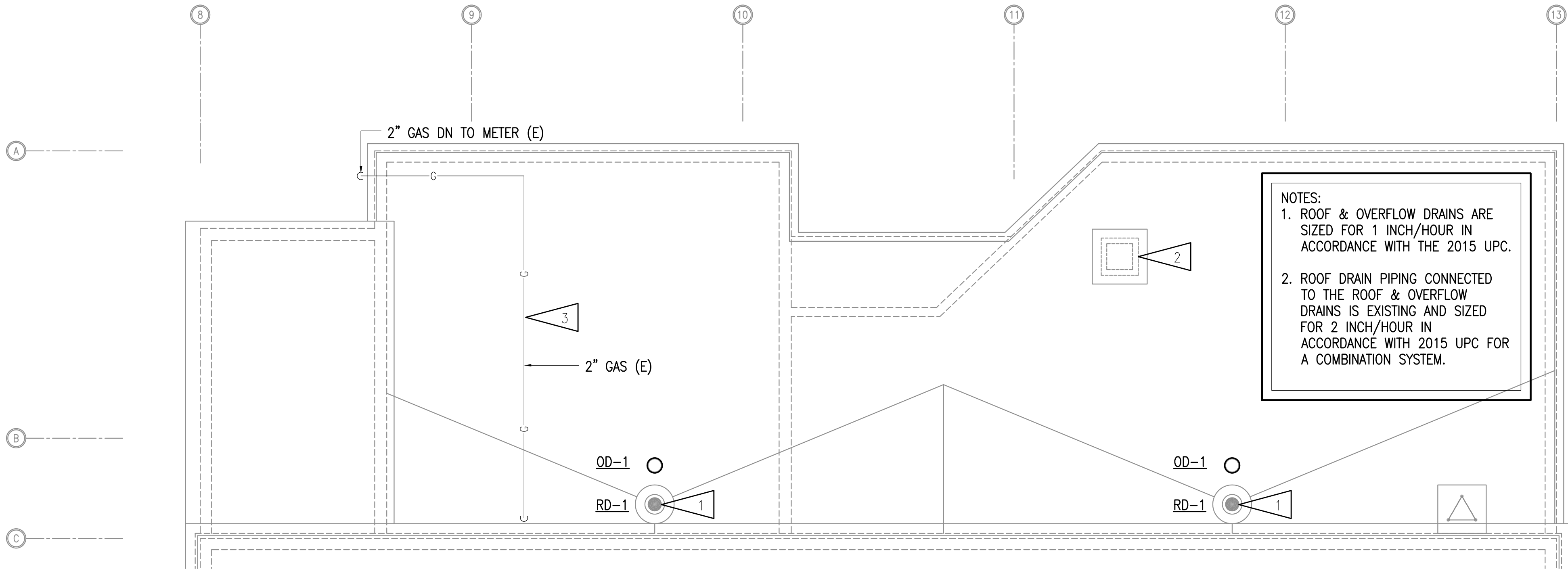
PARTIAL ROOF DEMOLITION
PLAN - AREA 'B'
M101

ARCHITECT: BETTISWORTH NORTH
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CONSTRUCTION DOCUMENTS



1 PARTIAL ROOF MECHANICAL DEMOLITION PLAN - AREA 'A'
1/4" = 1'-0"



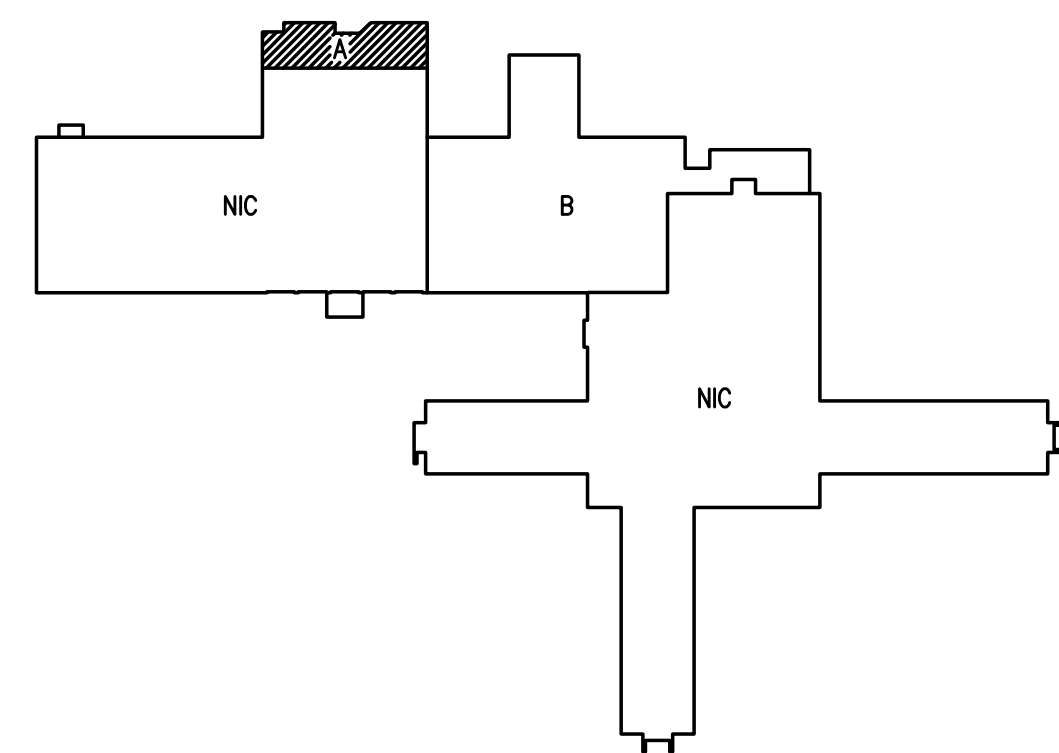
2 PARTIAL ROOF MECHANICAL RENOVATION PLAN - AREA 'A'
1/4" = 1'-0"

DEMOLITION SHEET NOTES:

- 1 DEMOLISH ROOF DRAIN AND SUMP.
- 2 DEMOLISH ROOF CURB AND REMOVE AND SALVAGE RELIEF HOOD.
- 3 PROVIDE TEMPORARY SUPPORT FOR EXISTING GAS PIPING, REINSTALL PIPE AND SUPPORTS.

RENOVATION SHEET NOTES:

- 1 PROVIDE NEW ROOF AND OVERFLOW DRAINS, CONNECT TO EXISTING RAINLEADER PIPING. SEE DETAIL 1/M001.
- 2 PROVIDE NEW ROOF CURB AND REINSTALL RELIEF HOOD. SEE DETAIL 3/M001.
- 3 RE-INSTALL PIPING SUPPORTS, ADJUST HEIGHT AS NECESSARY TO ACCOMMODATE CHANGES IN ROOF HEIGHT.



KEY PLAN
NO SCALE



FAIRBANKS CORRECTIONAL CENTER -
EPDM ROOF REPLACEMENT
(DOT&PF PROJ NO. 2501000046)
1931 EAGAN AVENUE, FAIRBANKS, ALASKA 99701-

CONSULTANT:

RSA

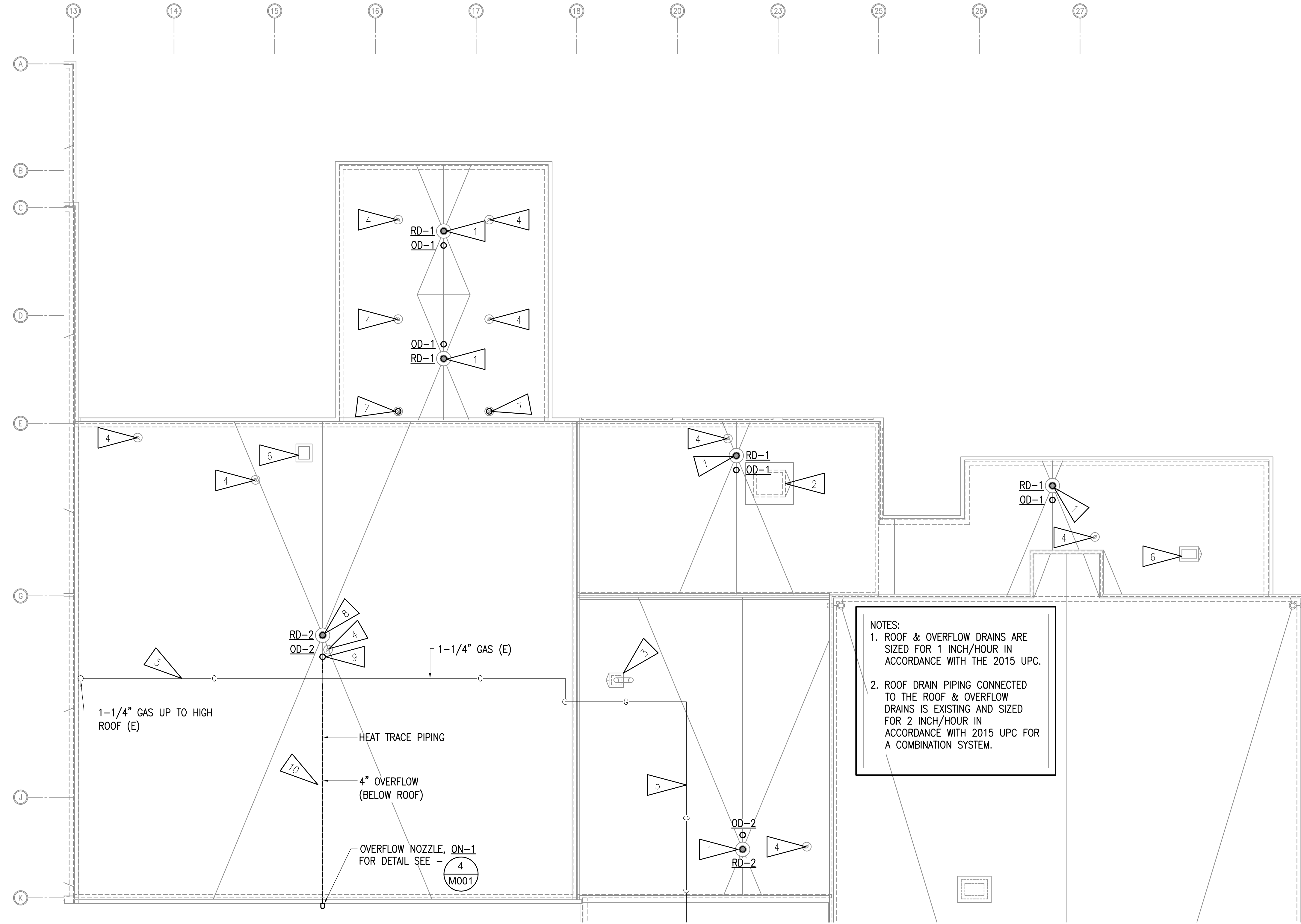
Mechanical and Electrical Consulting Engineers

670 West Fireweed Lane, Suite 200
Anchorage, AK 99503
(907)276-0521
Corporate No.: AECC542

PROJECT NO:		L8146
DATE:		10/26/2018
DRAWN BY:		ARN
CHECKED BY:		RRD
Symbol	Description	Date

PARTIAL ROOF PLANS
AREA 'A'

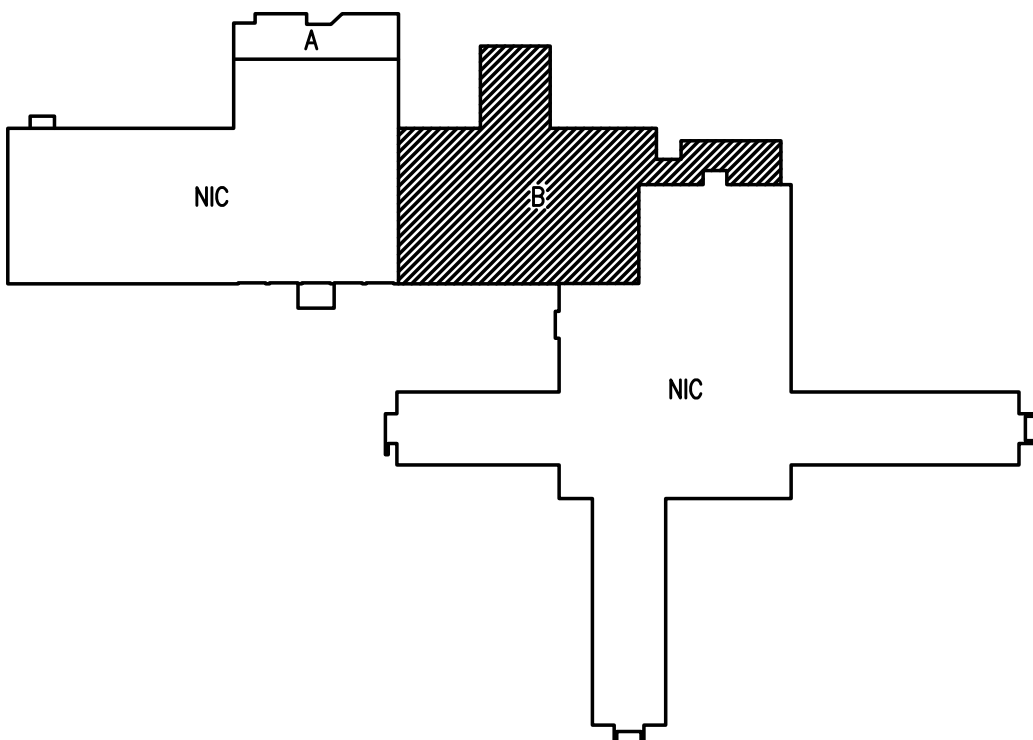
M102



NOTES:
1. ROOF & OVERFLOW DRAINS ARE SIZED FOR 1 INCH/HOUR IN ACCORDANCE WITH THE 2015 UPC.
2. ROOF DRAIN PIPING CONNECTED TO THE ROOF & OVERFLOW DRAINS IS EXISTING AND SIZED FOR 2 INCH/HOUR IN ACCORDANCE WITH 2015 UPC FOR A COMBINATION SYSTEM.

RENOVATION SHEET NOTES:

- 1 PROVIDE NEW ROOF AND OVERFLOW DRAINS, CONNECT TO EXISTING PIPING. SEE DETAIL 1/M001.
- 2 PROVIDE NEW ROOF CURB AND REINSTALL RELIEF HOOD SEE DETAIL 3/M001.
- 3 PROVIDE NEW ROOF CURB AND REINSTALL EXHAUST GOOSENECK. SEE DETAIL 3/M001.
- 4 EXTEND PLUMBING VTR. SEE DETAIL 2/M001.
- 5 RE-INSTALL PIPING SUPPORTS, ADJUST HEIGHT AS NECESSARY TO ACCOMMODATE CHANGES IN ROOF HEIGHT.
- 6 PROVIDE NEW ROOF CURB PER ARCHITECTURAL AND REINSTALL EXHAUST DUCT ASSEMBLY. SEE DETAIL 3/M001.
- 7 MOVE/EXTEND PLUMBING VENT BELOW ROOF TO AVOID PARAPET. EXTEND PLUMBING VTR. SEE DETAIL 2/M001.
- 8 PROVIDE NEW ROOF DRAIN, SEE DETAIL 1/M001. (SIMILAR)
- 9 PROVIDE OVERFLOW DRAIN. ROUTE 4" OVERFLOW PIPING BELOW ROOF IN CHASE. TERMINATE AT EXTERIOR WALL AHAP WITH DISCHARGE NOZZLE.
- 10 PROVIDE NEW 120V, 20A CIRCUIT FOR HEAT TRACE FROM ELECTRICAL PANEL IN PLUMBING CHASE BELOW. CONNECT TO SPARE CIRCUIT BREAKER. PROVIDE HEAT TRACE CONTROLLER WITH INTEGRAL GFCI-EPD, PENTAIR DIGI-TRACE ECW-GF-DP OR EQUAL. INSTALL REMOTE DISPLAY NEXT TO ELECTRICAL PANEL AND SET UNIT TO POWER HEAT TRACE WHEN PIPE TEMPERATURE AT OVERFLOW INLET IS BELOW 40°F.



KEY PLAN
NO SCALE

1 PARTIAL ROOF MECHANICAL RENOVATION PLAN - AREA 'B'
1/8" = 1'-0"



FAIRBANKS CORRECTIONAL CENTER -
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DATE: 10/26/2018
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Symbol	Description	Date

PARTIAL ROOF RENOVATION
PLAN - AREA 'B'

M103

ARCHITECT: BETTISWORTH NORTH
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